

REVISIONS		
NO.	DATE	DESCRIPTION



**GLADSTONE DESIGN, Inc.**

Consulting Engineers  
 Land Surveyors  
 Landscape Architects  
 Land Planners

265 Main Street, P.O. Box 400  
 Gladstone, New Jersey 07934  
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NJ Certificate of Authorization  
 No. 24GA28034400

Ronald A. Kennedy, P.E., P.P., CME, LEED AP  
 Kurt T. Hanic, P.L.S.  
 Robert C. Morris  
 Robert C. Moschello, P.E.

**RONALD A. KENNEDY, P.E.**  
 NJ PROFESSIONAL ENGINEER  
 LICENSE No. 24GE03345300

**PROJECT**  
**BEDMINSTER FARMS**  
 LOTS 12, 15, AND 21 BLOCK 39  
 BEDMINSTER TOWNSHIP  
 SOMERSET COUNTY  
 NEW JERSEY

**SHEET TITLE**  
 PRELIMINARY AND FINAL MAJOR  
 SUBDIVISION PLANS  
**SUBDIVISION LAYOUT  
 RENDERING**

DATE	NOVEMBER 5, 2020
SCALE	1" = 150'
DRAWN	EMF
CHKD.	MDD
JOB NO.	984-03
SHEET NO.	1 OF 1

MICHAEL B. LAVERY  
MICHAEL S. SELVAGGI<sup>†</sup>  
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RICHARD W. WENNER<sup>°</sup>  
WILLIAM H. PANDOS<sup>°</sup>

<sup>†</sup>CERTIFIED BY THE SUPREME COURT OF  
NEW JERSEY AS A CIVIL TRIAL ATTORNEY  
<sup>°</sup>MEMBER OF NJ AND PA BAR  
<sup>•</sup>MEMBER OF NJ AND NY BAR

LAW OFFICES  
**LAVERY, SELVAGGI, ABROMITIS & COHEN**

A PROFESSIONAL CORPORATION  
1001 ROUTE 517  
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OF COUNSEL:

RAVINDER S. BHALLA  
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ROBERT V. STILES  
RICHARD R. KEILING  
SENDER'S DIRECT EMAIL  
[MLAVERY@LSACLAW.COM](mailto:MLAVERY@LSACLAW.COM)

June 29, 2020

Janine DeLeon  
Bedminster Township Land Use Board  
One Miller Lane  
Bedminster, NJ 07921

**Re: Bedminster Farms  
Block 39, lots 12, 15 and 21**

Dear Ms. DeLeon:

As you know, this office represents Bedminster Farms in the above-referenced application. Further to the recent hearing and the Board's request, enclosed please find the following:

1. Vision Statement for the project; and
2. Revised plans prepared by Gladstone Design.

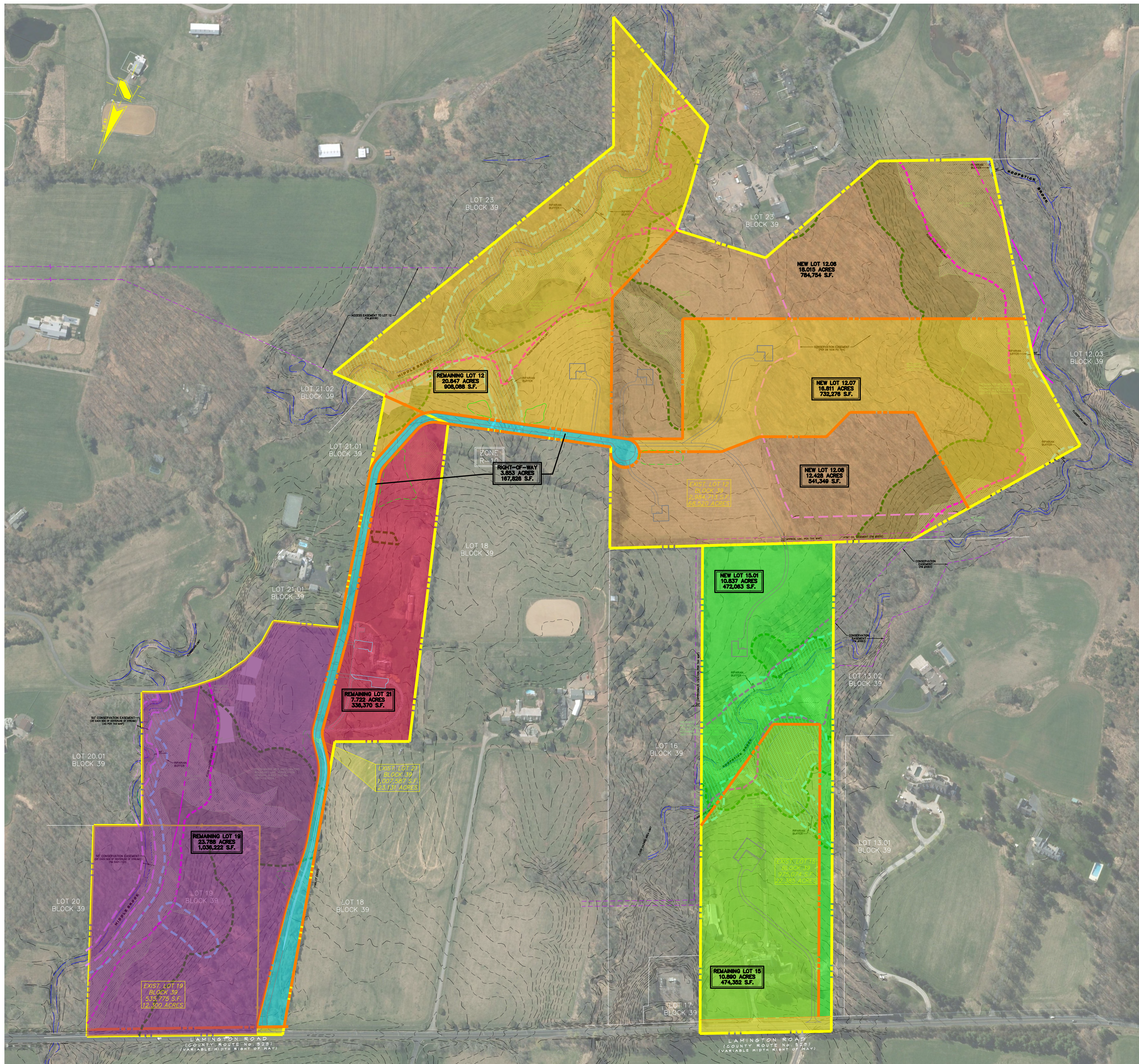
The Vision Statement provides an overview of how we intend to implement our agricultural and environmental vision for the property. As set forth in the Vision Statement, the applicant intends to "correct, enhance and expand the agriculture on the property from what was happening to date, while cultivating a community that both supports and benefits from the community agriculture and environment ...". To ensure that this vision is preserved, it is the applicant's intention to file deed restrictions on each of the lots.

If you have any questions or require any further information, please do not hesitate to contact me.

Very truly yours,

Michael B. Lavery

MBL/jh / Enclosures  
cc: Gladstone Design  
James M. Downs



**LEGEND**

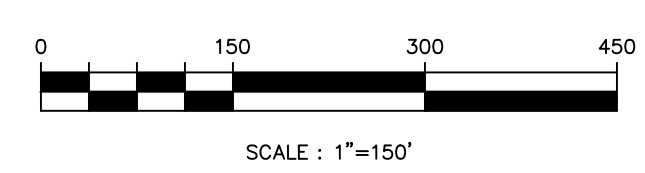
- LOT 12
- LOT 15
- LOT 21
- RIGHT OF WAY
- DEDICATION
- LOT 19

**SLOPE LEGEND**

- | SLOPE | CATEGORY           |
|-------|--------------------|
|       | 0.00% TO 14.99%    |
|       | 15.00% TO 24.99%   |
|       | 25.00% AND GREATER |

**ENVIRONMENTAL CONSTRAINTS LEGEND**

- WETLANDS
- WETLANDS BUFFER
- TOWNSHIP STREAM CONSERVATION EASEMENT
- RIPARIAN BUFFER
- FLOOD HAZARD AREA LINE
- FLOODWAY LIMIT
- CONSERVATION EASEMENT LINE



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PROJECT  
**BEDMINSTER FARMS**  
 LOTS 12, 15, AND 21 BLOCK 39  
 BEDMINSTER TOWNSHIP  
 SOMERSET COUNTY  
 NEW JERSEY

SHEET TITLE  
 PRELIMINARY AND FINAL MAJOR  
 SUBDIVISION PLANS  
**SUBDIVISION LOT  
 COMPARISON**

DATE	NOVEMBER 5, 2020
SCALE	1" = 150'
JOB NO.	984-03
DRAWN	EMF
CHKD.	MDD
SHEET NO.	1 OF 1

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Ronald A. Kennedy, P.E.; P.P.; CME; LEED AP  
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Robert C. Morris  
Robert C. Moschello, P.E.

June 26, 2020  
984-03

Ms. Janine DeLeon  
Bedminster Township Land Use Board  
1 Miller Lane  
Bedminster, NJ 07921

Re: Bedminster Farms  
Preliminary and Final Major Subdivision Plans  
Block 39, Lots 12, 15, & 21, 1120 & 1320 Lamington Road  
Bedminster Township, Somerset County, New Jersey

Dear Ms. DeLeon,

On behalf of the applicant Bedminster Farms, the Subdivision Plans and associated documents have been revised to address comments in the Township Engineer and Township Planner's review memos.

In response to the Township Engineer's review memo dated June 5, 2020, we offer the following comments.

## I. Completeness Review

- A. The application has been approved by the Bedminster Township Board of Health, with the exception of Proposed Lot 12.07. Proposed Lot 12.07 was not approved due to the location of the primary and reserve septic disposal fields in relation to the freshwater wetlands. Additional soil testing has been completed on Proposed Lot 12.07, and witnessed by a representative of the Bedminster Township Board of Health, which located a primary and reserve septic disposal areas outside of the required setback to the freshwater wetlands. An application for amended approval has been submitted to the Bedminster Township Board of Health for review and approval of the new primary and reserve septic disposal areas. Proposed Lot 12.06 has been merged with Proposed Lot 12.07 for the purpose of this submission. Once approval is received from the Board of Health the applicant will seek approval from the Land Use Board for further subdivision of Lot 12.07.
- B. The subdivision has been revised to propose a subdivision of eight (8) lots rather than the previously proposed nine (9) lots. The applicant will submit a future application to further subdivide Proposed Lot 12.07 into Proposed Lot 12.06 and Proposed Lot 12.07.
- C. Comment is a statement of fact, no response required.

## II. Subdivision Plans

### A. Sheet 1 – Project Data/Vicinity Plan

1. The project is subject to New Jersey Department of Environmental Protection (NJDEP) freshwater wetlands Letter of Interpretation (LOI) and Flood Hazard Area (FHA) verification. The project received NJDEP FHA verification on February 25, 2020, File No.: 1801-19-004.2 LUP190001, for the entire tract. The project received and NJDEP LOI for Lot 15 on November 28, 2017, File No.: 1801-17-0003.1, an NJDEP LOI for Lots 12 and 21 are pending receipt of the physical copy of the LOI. The wetlands limits and transition areas have been verified by NJDEP, File No.: 1801-19-0004.1.
2. Comment is a statement of fact; the applicant is aware the overall project is classified as a major development and as such each individual lot will comply with the major development stormwater standards at the time of Lot Development Plan.
3. General Note 26 has been revised to include a statement regarding the means by which the roadway, drainage, etc. will be completed. The note was revised to include, "The final course and all remaining common elements will be installed prior to the issuance of the final certificate of occupancy for the project."
4. Comment is a statement of fact; while not legally obligated, the applicant will post a bond for the improvements to the roadway and the associated drainage improvements. The bond will be in place of installing the roadway and drainage improvements prior to filing of the final map.
5. The zoning table has been revised to include the statement regarding the front yard setback.
6. The zoning table has been revised to include the statement regarding the combined side yard setback requirements.
7. The Subdivision Plans have been revised to make the lot layouts (areas, etc.) consistent across the subdivision plats, the zoning table on the cover sheet and the site dimension plan.
8. The Subdivision Plans have been revised to eliminate the variance on Proposed Lot 21.04. Remaining Lots 15 and 21 require variance relief. The variance for lot size on Remaining Lot 15 was previously granted by the Bedminster Township Land Use Board under the 2017 approval.
9. The Resource Constraints chart on the cover sheet has been revised to include the new constraint areas based upon the verified NJDEP constraints. The chart has been revised to include Lot 15 and a total tract calculation.
10. The conservation easement on Lot 12 is not required to be calculated in the resource constraints calculation because it was not a conservation easement imposed by the Township as part of conditions of a site plan or subdivision approval. The conservation easement is a private easement between the property owner and the Upper Raritan Watershed Association.

- B. Sheets 2 and 3 – Existing Conditions and Environmental Constraints Map: The plan sheets have been revised to show the NJDEP verified regulated areas, these include the verified floodplain and flood hazard area, freshwater wetlands and associated transition buffers, and riparian buffers.
  
- C. Sheets 4 and 5 – Preliminary and Final Subdivision Plats: The Subdivision Plats have not been included with the revised submission. The plats will be revised to address the comments in the letter should the Board act favorably on the application.
  
- D. Sheets 6 and 7 – Site Dimension Plan (Preferred Layout)
  - 1. The plans have been revised to include the RSIS required 25-foot curb radii where the private road intersects with Lamington Road.
  - 2. Comment is a statement of fact; the applicant is aware the overall project is classified as a major development and as such each individual lot will comply with the major development stormwater standards at the time of Lot Development Plan.
  - 3. Comment is a statement of fact; the new septic disposal system for remaining Lot 21 will be constructed or bonded prior to the filing of the map.
  - 4. A note has been added to the plan stating all proposed utilities are to be underground.
  
- E. Sheets 8 and 9 – Grading, Drainage, and Utility Plan
  - 1. Larger scale grading plans for each of the basins will be provided should the Board act favorably on the application. The larger scale grading plans will be provided in conjunction with the revised stormwater management design for the project.
  - 2. The grading on the private road has been reviewed to determine the additional portions of the roadway that should be constructed with a crown. Following the review, only a portion of the roadway adjacent to the property line with Lot 21.01 was revised to include a crown. The area adjacent to Lot 21.01 was determined to not utilize a crown due to the existing drainage patterns and the desire to not put undue stormwater runoff on the adjacent property.
  - 3. A note has been added to the plan regarding removal and backfill of existing structures. The note includes abandonment of the well and septic on Remaining Lot 15 in accordance with NJDEP regulations.
  - 4. Comment is a statement of fact, NJDEP Land Use Permits are required for the project. An application will be made to NJDEP for Land Use Permits should the Board act favorably on the application.
  - 5. Larger scale grading plans for each of the basins will be provided should the Board act favorably on the application. Should it be determined that grading for the basins encroaches into NJDEP regulated areas the basins will be modified to prevent the need for NJDEP permitting.
  - 6. A note has been added to the plans regarding removal of the existing septic structure on proposed lot 21.04 in accordance with NJDEP requirements.
  - 7. The stormwater management system will be revised should the Board act favorably

- on the application. At such time of the revisions, the need for an inlet on the westerly side of the private road will be analyzed.
8. The stormwater management system will be revised should the Board act favorably on the application, at such time the control structure information will be revised.
  9. The grading has been revised to show the proposed grading of basin #9 tying back into existing contour 134.
- F. Sheets 10 and 11 – Soil Erosion & Sediment Control Plan: The Soil Erosion plans have not been included with the revised submission. The soil erosion and sediment control plans will be revised to reflect the project extents should the Board act favorably on the application. The plans will be submitted to Somerset-Union Soil Conservation District for certification prior to the start of construction.
- G. Sheet 12 – Driveway Profiles (Preferred Layout)
1. The grading on the private road has been reviewed to determine the additional portions of the roadway that should be constructed with a crown. Following the review, only a portion of the roadway adjacent to the property line with Lot 21.01 was revised to include a crown. The area adjacent to Lot 21.01 was determined to not utilize a crown due to the existing drainage patterns and the desire to not put undue stormwater runoff on the adjacent property.
- H. Sheets 13 and 14 – Construction Details
1. Additional information regarding the construction of the weir within the outlet structure for basin #6 will be provided when the stormwater management system is revised should the Board act favorably on the application.
  2. The bio-retention basin details on the Construction Details has been revised to eliminate the bio-retention basin with an underdrain. At the time of the stormwater management system revisions, should basins with underdrains be required, the plans and construction details will be modified.
  3. Larger scale grading plans for each of the basins will be provided should the Board act favorably on the application. The larger scale grading plans will be provided in conjunction with the revised stormwater management design for the project.
  4. The bio-retention basin detail will be revised to be consistent with the NJDEP BMP Manual.
  5. The spillway elevation will be corrected at the time of the revisions to the stormwater management system.
- I. Site Dimension Plan (Conventional Layout) Sheets 1-2 of 3: The Conventional Layout Site Dimension Plans are not included with the revised submission. The purpose of these plans was to show a more conventional (conforming) subdivision layout. The applicant's engineer has provided testimony regarding the conventional layout and the variances that are associated with the plan.
- J. Driveway Profiles (Conventional Layout) Sheet 3 of 3 – No response required.

K. Sight Distance Plan & Profile (Sheets 1-2 of 2) – No response required.

III. Stormwater Management: The stormwater management facilities for the project have not been revised as part of the revised submission. The applicant and the applicant's engineer will work with the Township Engineer to reasonably address the comments outlined in the review memo. The stormwater management system will be revised to comply with local, County, and State regulations for stormwater management.

In response to the Township Planner's review memo dated June 5, 2020, we offer the following comments.

1. Documents reviewed – No response required
2. Nature of the Application
  - 2.1. Comment is a statement of fact, no response required.
  - 2.2. Comments are a statement of fact, no response required.
  - 2.3. Comments are a statement of fact, no response required.
  - 2.4. Comments are a statement of fact, the variances outlined in the review memo are consistent with what is proposed, with the exception of the variance relief for front yard setback on proposed Lot 21.04. The variance for front yard setback on proposed Lot 21.04 has been eliminated.
  - 2.5. The guest house on proposed Lot 21 is to be removed. This eliminates that pre-existing non-conforming conditions outlined in the review memo.
3. Comments
  - 3.1. The applicant's engineer and planner will provide testimony regarding the access layout and why a more traditional access configuration is not possible.
  - 3.2. The resource conservation calculations on Sheet 1 have been revised to include Lot 15, as well as a calculation for the entire tract.
  - 3.3. Testimony will be provided regarding the status of existing dwellings and structures on the property with an update with what will be removed and what is to remain.
  - 3.4. Testimony will be provided regarding the developable area on each lot and the rationale for the dwelling locations and that natural features are being retained to the maximum extent.
  - 3.5. The guest house is to be removed should the Board act favorably on the application, therefore a variance for an accessory dwelling unit will not be required.
  - 3.6. Testimony will be provided regarding the number, size and type of trees to be removed as part of the application.
  - 3.7. Comment is a statement of fact, the applicant will obtain required outside agency approvals.



Should you have any questions or require additional information, please do not hesitate to contact this office.

Sincerely,

GLADSTONE DESIGN, INC.

A handwritten signature in black ink, appearing to read "Matt", enclosed within a large, loopy circular flourish.

Matt Draheim, L.L.A.

Enclosure

Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 6/26/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 12**

**RESOURCE CONSERVATION AREA**  
**MAXIMUM TRACT YIELD CALCULATION**  
**Lot 12**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Gross Tract Area			68.52
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.			0.00
3.	Adjusted Gross Tract Area (Line 1 less Line 2) Resource Conservation Areas: (see Notes (a) and (b))			68.52
4.	Bodies of water, area of flood plains, wetlands, stream corridors	21.32	1	21.32
5.	Area of slopes 25% and greater based on 10' contour intervals	0.04	1	0.04
6.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0.19	0.75	0.14
7.	NJDEP - required wetlands transition areas	9.25	0.75	6.94
8.	Area of 300' buffer to Category 1 Waters	0	0.5	0.00
9.	Total Deductible Resource Conservation Area (sum of Column C, Lines 4 through 8)			28.44
10.	Net site area adjusted for Resource Conservation Areas (Line 3 less Line 9)			40.08
11.	Maximum permitted density or floor area ratio			0.10
12.	Maximum permitted number of principal dwelling units or non-residential floor area (Line 10 multiplied by Line 11) (see Note (c))			4.01

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Round down to the nearest dwelling unit or square foot.
- (d) Maximum Tract Yield Calculation Form taken from Bedminster Ordinance 13-526

Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 6/26/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 12**

**RESOURCE CONSERVATION AREA  
 MINIMUM LOT AREA CALCULATION FORM  
 Remaining Lot 12**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Bodies of water, area of flood plains, wetlands, stream corridors	6.355	1	6.36
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.	0	1	0.00
3.	Area of slopes 25% and greater based on 10' contour intervals	0.04	1	0.04
4.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0.18	0.75	0.14
5.	NJDEP - required wetlands transition areas	0.159	0.75	0.12
6.	Area of 300' buffer to Category 1 Waters		0.5	0.00
7.	Total Deductible Resource Conservation Area (sum of Column C, Lines 1 through 6)			6.65
8.	Minimum Lot Area required per Article 13-400	10		10.00
9.	Minimum Gross Lot Area adjusted for Resource Conservatin Areas (Line 7 plus Line 8)			16.65

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Minimum Gross Lot Area Calculation Form taken from Bedminster Ordinance 13-526

Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 6/26/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 12**

**RESOURCE CONSERVATION AREA  
 MINIMUM LOT AREA CALCULATION FORM  
 Future Lot 12.06**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Bodies of water, area of flood plains, wetlands, stream corridors	7.28	1	7.28
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.	0	1	0.00
3.	Area of slopes 25% and greater based on 10' contour intervals	0	1	0.00
4.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0.01	0.75	0.01
5.	NJDEP - required wetlands transition areas	1.492	0.75	1.12
6.	Area of 300' buffer to Category 1 Waters		0.5	0.00
7.	Total Deductible Resource Conservation Area (sum of Column C, Lines 1 through 6)			8.41
8.	Minimum Lot Area required per Article 13-400	10		10.00
9.	Minimum Gross Lot Area adjusted for Resource Conservatin Areas (Line 7 plus Line 8)			18.41

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Minimum Gross Lot Area Calculation Form taken from Bedminster Ordinance 13-526

Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 6/26/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 12**

**RESOURCE CONSERVATION AREA  
 MINIMUM LOT AREA CALCULATION FORM  
 Future Lot 12.07**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Bodies of water, area of flood plains, wetlands, stream corridors	4.431	1	4.43
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.	0	1	0.00
3.	Area of slopes 25% and greater based on 10' contour intervals	0	1	0.00
4.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0	0.75	0.00
5.	NJDEP - required wetlands transition areas	3.04	0.75	2.28
6.	Area of 300' buffer to Category 1 Waters		0.5	0.00
7.	Total Deductible Resource Conservation Area (sum of Column C, Lines 1 through 6)			6.71
8.	Minimum Lot Area required per Article 13-400	10		10.00
9.	Minimum Gross Lot Area adjusted for Resource Conservatin Areas (Line 7 plus Line 8)			16.71

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Minimum Gross Lot Area Calculation Form taken from Bedminster Ordinance 13-526

Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 6/26/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 12**

**RESOURCE CONSERVATION AREA  
 MINIMUM LOT AREA CALCULATION FORM  
 Proposed Lot 12.08**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Bodies of water, area of flood plains, wetlands, stream corridors	2.889	1	2.89
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.	0	1	0.00
3.	Area of slopes 25% and greater based on 10' contour intervals	0	1	0.00
4.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0	0.75	0.00
5.	NJDEP - required wetlands transition areas	3.167	0.75	2.38
6.	Area of 300' buffer to Category 1 Waters		0.5	0.00
7.	Total Deductible Resource Conservation Area (sum of Column C, Lines 1 through 6)			5.26
8.	Minimum Lot Area required per Article 13-400	10		10.00
9.	Minimum Gross Lot Area adjusted for Resource Conservation Areas (Line 7 plus Line 8)			15.26

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Minimum Gross Lot Area Calculation Form taken from Bedminster Ordinance 13-526

Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 6/26/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 12**

**RESOURCE CONSERVATION AREA  
 MINIMUM LOT AREA CALCULATION FORM  
 Proposed Lot 12.09**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Bodies of water, area of flood plains, wetlands, stream corridors	0.355	1	0.36
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.	0	1	0.00
3.	Area of slopes 25% and greater based on 10' contour intervals	0	1	0.00
4.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0	0.75	0.00
5.	NJDEP - required wetlands transition areas	1.398	0.75	1.05
6.	Area of 300' buffer to Category 1 Waters		0.5	0.00
7.	Total Deductible Resource Conservation Area (sum of Column C, Lines 1 through 6)			1.40
8.	Minimum Lot Area required per Article 13-400	10		10.00
9.	Minimum Gross Lot Area adjusted for Resource Conservation Areas (Line 7 plus Line 8)			11.40

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Minimum Gross Lot Area Calculation Form taken from Bedminster Ordinance 13-526

Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 6/26/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 12**

**RESOURCE CONSERVATION AREA  
 MINIMUM LOT AREA CALCULATION FORM  
 Proposed Lot 12.07**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Bodies of water, area of flood plains, wetlands, stream corridors	11.715	1	11.72
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.	0	1	0.00
3.	Area of slopes 25% and greater based on 10' contour intervals	0	1	0.00
4.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0.01	0.75	0.01
5.	NJDEP - required wetlands transition areas	4.532	0.75	3.40
6.	Area of 300' buffer to Category 1 Waters		0.5	0.00
7.	Total Deductible Resource Conservation Area (sum of Column C, Lines 1 through 6)			15.12
8.	Minimum Lot Area required per Article 13-400	10		10.00
9.	Minimum Gross Lot Area adjusted for Resource Conservation Areas (Line 7 plus Line 8)			25.12

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Minimum Gross Lot Area Calculation Form taken from Bedminster Ordinance 13-526



Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 6/26/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 15**

**RESOURCE CONSERVATION AREA**  
**MAXIMUM TRACT YIELD CALCULATION**  
**Lot 15**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Gross Tract Area			21.73
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.			0.00
3.	Adjusted Gross Tract Area (Line 1 less Line 2) Resource Conservation Areas: (see Notes (a) and (b))			21.73
4.	Bodies of water, area of flood plains, wetlands, stream corridors	4.4	1	4.40
5.	Area of slopes 25% and greater based on 10' contour intervals	0	1	0.00
6.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0.107	0.75	0.08
7.	NJDEP - required wetlands transition areas	1.866	0.75	1.40
8.	Area of 300' buffer to Category 1 Waters		0.5	0.00
9.	Total Deductible Resource Conservation Area (sum of Column C, Lines 4 through 8)			5.88
10.	Net site area adjusted for Resource Conservation Areas (Line 3 less Line 9)			15.85
11.	Maximum permitted density or floor area ratio			0.10
12.	Maximum permitted number of principal dwelling units or non-residential floor area (Line 10 multiplied by Line 11) (see Note (c))			1.58

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Round down to the nearest dwelling unit or square foot.
- (d) Maximum Tract Yield Calculation Form taken from Bedminster Ordinance 13-526

Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 6/26/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 15 (Remaining Lot 15)**

**RESOURCE CONSERVATION AREA**  
**MINIMUM LOT AREA CALCULATION FORM**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
	Resource Conservation Areas: (see Notes (a) and (b))			
1.	Bodies of water, area of flood plains, wetlands, stream corridors	3.425	1	3.43
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.		1	0.00
3.	Area of slopes 25% and greater based on 10' contour intervals		1	0.00
4.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0.107	0.75	0.08
5.	NJDEP - required wetlands transition areas	0.79	0.75	0.59
6.	Area of 300' buffer to Category 1 Waters		0.5	0.00
7.	Total Deductible Resource Conservation Area (sum of Column C, Lines 1 through 6)			4.10
8.	Minimum Lot Area required per Article 13-400	10		10.00
9.	Minimum Gross Lot Area adjusted for Resource Conservatin Areas (Line 7 plus Line 8)			14.10

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Minimum Gross Lot Area Calculation Form taken from Bedminster Ordinance 13-526

Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 6/26/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 15 (Proposed Lot 15.01)**

**RESOURCE CONSERVATION AREA**  
**MINIMUM LOT AREA CALCULATION FORM**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
	Resource Conservation Areas: (see Notes (a) and (b))			
1.	Bodies of water, area of flood plains, wetlands, stream corridors	0.777	1	0.78
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.		1	0.00
3.	Area of slopes 25% and greater based on 10' contour intervals		1	0.00
4.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0	0.75	0.00
5.	NJDEP - required wetlands transition areas	1.03	0.75	0.77
6.	Area of 300' buffer to Category 1 Waters		0.5	0.00
7.	Total Deductible Resource Conservation Area (sum of Column C, Lines 1 through 6)			1.55
8.	Minimum Lot Area required per Article 13-400	10		10.00
9.	Minimum Gross Lot Area adjusted for Resource Conservatin Areas (Line 7 plus Line 8)			11.55

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Minimum Gross Lot Area Calculation Form taken from Bedminster Ordinance 13-526

Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 6/26/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 21**

**RESOURCE CONSERVATION AREA**  
**MAXIMUM TRACT YIELD CALCULATION**  
**Lot 21**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Gross Tract Area			23.13
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.			0.24
3.	Adjusted Gross Tract Area (Line 1 less Line 2) Resource Conservation Areas: (see Notes (a) and (b))			22.89
4.	Bodies of water, area of flood plains, wetlands, stream corridors	4.39	1	4.39
5.	Area of slopes 25% and greater based on 10' contour intervals	0	1	0.00
6.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0.45	0.75	0.34
7.	NJDEP - required wetlands transition areas	3.22	0.75	2.42
8.	Area of 300' buffer to Category 1 Waters	0	0.5	0.00
9.	Total Deductible Resource Conservation Area (sum of Column C, Lines 4 through 8)			7.14
10.	Net site area adjusted for Resource Conservation Areas (Line 3 less Line 9)			15.75
11.	Maximum permitted density or floor area ratio			0.10
12.	Maximum permitted number of principal dwelling units or non-residential floor area (Line 10 multiplied by Line 11) (see Note (c))			1.57

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Round down to the nearest dwelling unit or square foot.
- (d) Maximum Tract Yield Calculation Form taken from Bedminster Ordinance 13-526

Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 6/26/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 21**

**RESOURCE CONSERVATION AREA  
 MINIMUM LOT AREA CALCULATION FORM  
 Proposed Lot 21.04**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Bodies of water, area of flood plains, wetlands, stream corridors	3.816	1	3.82
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.	0.24	1	0.24
3.	Area of slopes 25% and greater based on 10' contour intervals	0	1	0.00
4.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0.375	0.75	0.28
5.	NJDEP - required wetlands transition areas	1.79	0.75	1.34
6.	Area of 300' buffer to Category 1 Waters		0.5	0.00
7.	Total Deductible Resource Conservation Area (sum of Column C, Lines 1 through 6)			5.68
8.	Minimum Lot Area required per Article 13-400	10		10.00
9.	Minimum Gross Lot Area adjusted for Resource Conservatin Areas (Line 7 plus Line 8)			15.68

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Minimum Gross Lot Area Calculation Form taken from Bedminster Ordinance 13-526

Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 6/26/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 21**

**RESOURCE CONSERVATION AREA  
 MINIMUM LOT AREA CALCULATION FORM  
 Proposed Lot 21**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Bodies of water, area of flood plains, wetlands, stream corridors	0.571	1	0.57
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.	0	1	0.00
3.	Area of slopes 25% and greater based on 10' contour intervals	0	1	0.00
4.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0.07	0.75	0.05
5.	NJDEP - required wetlands transition areas	1.42	0.75	1.07
6.	Area of 300' buffer to Category 1 Waters		0.5	0.00
7.	Total Deductible Resource Conservation Area (sum of Column C, Lines 1 through 6)			1.69
8.	Minimum Lot Area required per Article 13-400	10		10.00
9.	Minimum Gross Lot Area adjusted for Resource Conservatin Areas (Line 7 plus Line 8)			11.69

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Minimum Gross Lot Area Calculation Form taken from Bedminster Ordinance 13-526

Project: **Bedminster Farms**  
 0; Rev 6/26/20

Project #: **984-03**  
 Calculated By: **MDD**

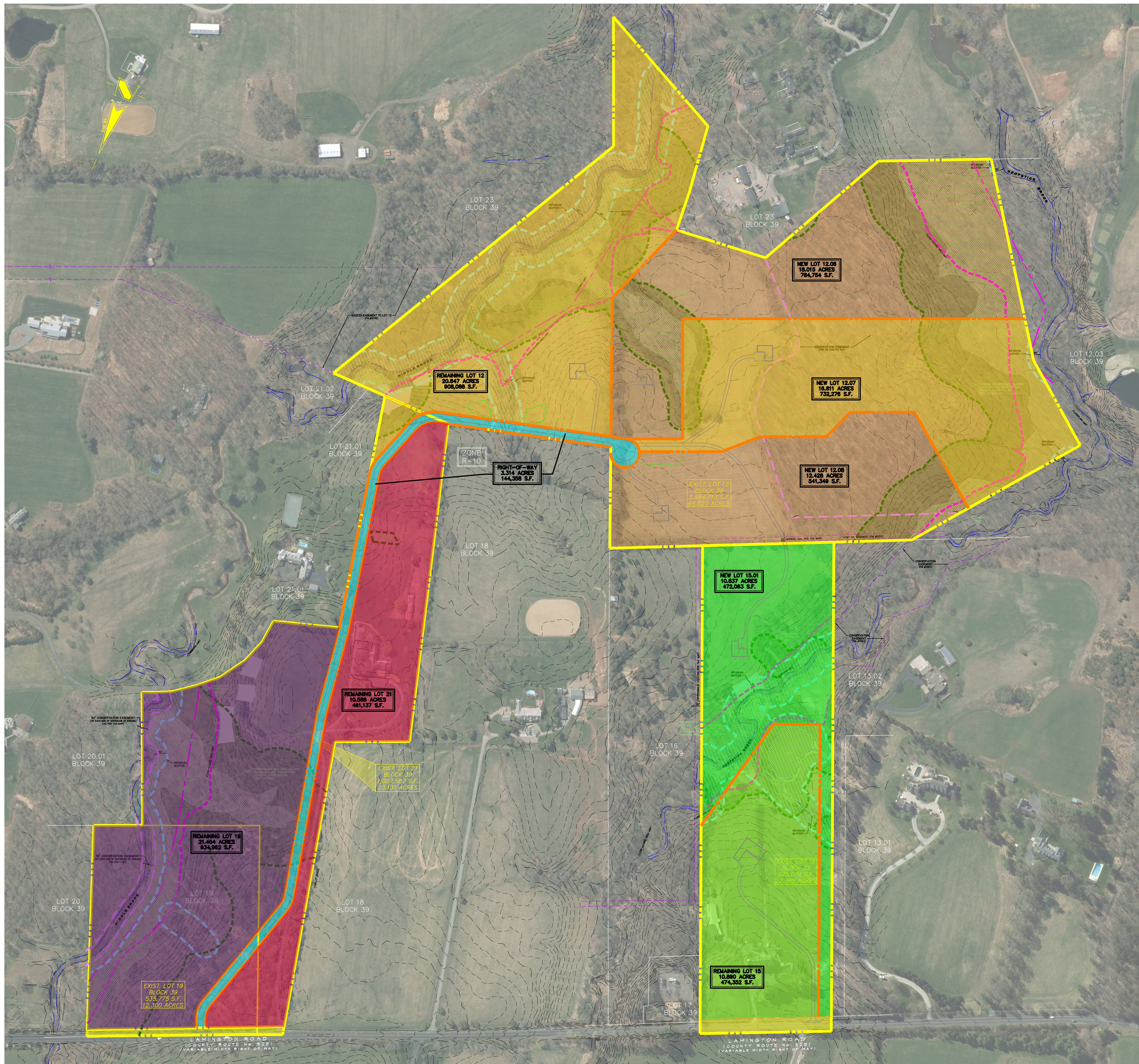
Block & Lot: **Block 39, Lots 12, 15, & 21**

**RESOURCE CONSERVATION AREA**  
**MAXIMUM TRACT YIELD CALCULATION**  
**Lot Total**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Gross Tract Area			113.38
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.			0.24
3.	Adjusted Gross Tract Area (Line 1 less Line 2) Resource Conservation Areas: (see Notes (a) and (b))			113.14
4.	Bodies of water, area of flood plains, wetlands, stream corridors	30.11	1	30.11
5.	Area of slopes 25% and greater based on 10' contour intervals	0.04	1	0.04
6.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0.75	0.75	0.56
7.	NJDEP - required wetlands transition areas	14.34	0.75	10.76
8.	Area of 300' buffer to Category 1 Waters	0	0.5	0.00
9.	Total Deductible Resource Conservation Area (sum of Column C, Lines 4 through 8)			41.47
10.	Net site area adjusted for Resource Conservation Areas (Line 3 less Line 9)			71.67
11.	Maximum permitted density or floor area ratio			0.10
12.	Maximum permitted number of principal dwelling units or non-residential floor area (Line 10 multiplied by Line 11) (see Note (c))			7.17

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Round down to the nearest dwelling unit or square foot.
- (d) Maximum Tract Yield Calculation Form taken from Bedminster Ordinance 13-526



**LEGEND**

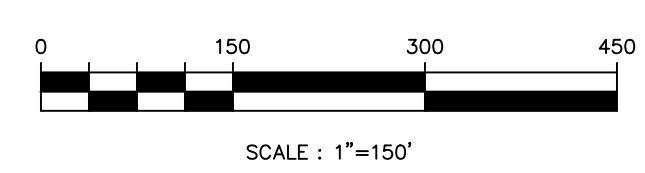
- LOT 12
- LOT 15
- LOT 21
- RIGHT OF WAY
- DEDICATION
- LOT 19

**SLOPE LEGEND**

- | SLOPE  | CATEGORY           |
|--|--------------------|
| <span style="display: inline-block; width: 15px; height: 10px; background-color: #FFFFFF; border: 1px solid black; margin-right: 5px;"></span> | 0.00% TO 14.99%    |
| <span style="display: inline-block; width: 15px; height: 10px; background-color: #A9A9A9; border: 1px solid black; margin-right: 5px;"></span> | 15.00% TO 24.99%   |
| <span style="display: inline-block; width: 15px; height: 10px; background-color: #808080; border: 1px solid black; margin-right: 5px;"></span> | 25.00% AND GREATER |

**ENVIRONMENTAL CONSTRAINTS LEGEND**

- WETLANDS
- WETLANDS BUFFER
- TOWNSHIP STREAM CONSERVATION EASEMENT
- RIPARIAN BUFFER
- FLOOD HAZARD AREA LINE
- FLOODWAY LIMIT
- CONSERVATION EASEMENT LINE



REVISIONS		
NO.	DATE	DESCRIPTION



**GLADSTONE DESIGN, Inc.**

Consulting Engineers  
 Land Surveyors  
 Landscape Architects  
 Land Planners

265 Main Street, P.O. Box 400  
 Gladstone, New Jersey 07934  
 T: (908) 234-0309  
 F: (908) 719-3320

NJ Certificate of Authorization  
 No. 24GA28034400

Ronald A. Kennedy, P.E., P.P., CME, LEED AP  
 Kurt T. Hanic, P.L.S.  
 Robert C. Morris  
 Robert C. Moschello, P.E.

**RONALD A. KENNEDY, P.E.**  
 NJ PROFESSIONAL ENGINEER  
 LICENSE No. 24GE03345300

PROJECT

**BEDMINSTER FARMS**

LOTS 12, 15, AND 21 BLOCK 39

BEDMINSTER TOWNSHIP  
 SOMERSET COUNTY  
 NEW JERSEY

SHEET TITLE

PRELIMINARY AND FINAL MAJOR  
 SUBDIVISION PLANS

**SUBDIVISION LOT  
 COMPARISON  
 (ALT)**

DATE	NOVEMBER 5, 2020
SCALE	1" = 150'
DRAWN	EMF
CHKD.	MDD
JOB NO.	984-03
SHEET NO.	1 OF 1



# GLADSTONE DESIGN, Inc.

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Ronald A. Kennedy, P.E.; P.P.; CME; LEED AP  
Kurt T. Hanie, P.L.S.  
Robert C. Morris  
Robert C. Moschello, P.E.

## **Bedminster Farms Executive Summary October 6, 2020**

Bedminster Farms is a proposed 8 lot subdivision of four existing parcels located on the south side of Lamington Road, just west of Larger Cross Road. A series of color exhibits have been prepared to assist the Land Use Board in understanding the lot configuration of the existing and proposed lots.

Bedminster Farms currently consists of a 126.33 acre parcel that consists of the following lots

Lot 12	68.52 acres
Lot 15	22.38 acres
Lot 19	12.30 acres
Lot 21	23.13 acres
Total area	126.33 acres

Since the initial subdivision application was filed, the number of proposed lots on Lot 12 has been reduced from 5 to 4 lots. Additionally, the applicant has added Lot 19 to the application. The current proposal is requesting to subdivide four existing lots totaling 126.33 acres into 8 lots.

Lot 12 (colored in yellow) has been revised to reduce the number of lots to 4 and now conforms to the Maximum Lot Yield Calculation for the Resource Conservation Area. Since the property does not have frontage on an existing street and is land-locked, the existing driveway on Lot 21 from Lamington Road is proposed to be extended into Lot 12 to create frontage for each of the lots.

Lot 15 (colored in green) has been granted subdivision approval to create two lots on 22.38 acres by the Bedminster Land Use Board in 2017. No changes are proposed to the approved lot lines other than eliminating a driveway crossing over the Middle Brook by allowing the driveway to use the new private road created by on Lots 21 and 12.

Lot 21 (colored in red) is a uniquely shaped 23.13 acre lot with a single family house. Portions of the lot along Lamington Road and to the rear of the lot near the house are very narrow. Since Lot 21 does not conform to the Resource Conservation Area Calculations, Lot 19 has been added to the application. The combined areas of existing Lot 19 and 21 are 35.43 acres and will allow up to 2 lots based upon the Maximum Tract Yield Calculations. Because of the unique

shape of the lot and the historic development patterns of the house and driveway, converting the existing driveway into the private road creates a front yard setback variance, lot size variance, and lot circle variance.

The following variances are required for the proposed subdivision.

1. A variance is requested from Section 13-401A.4 for minimum lot area where 10-acres minimum is required and 7.772-acres is proposed from Remaining Lot 21.
2. A variance is requested from Section 13-401A.4 for minimum front yard setback where 200-foot minimum is required and 92-feet is proposed to the private road right-of-way on Remaining Lot 21.
3. A variance is requested from Section 401A.4 for minimum lot size of 500-foot diameter circle transcribed within the lot lines where 358.2 feet is proposed on Remaining Lot 21.
4. A variance was previously granted from Section 401A.4 for minimum lot size of 500-foot diameter circle transcribed within the lot lines where 461.8-feet was granted for Remaining Lot 15.

The following design waivers are required for the proposed subdivision.

1. A design waiver was previously granted from Section 13-526 for providing a lot in conformance with the resource conservation calculations for maximum tract yield for Existing Lot 15.
2. A design waiver is requested from Section 13-526 for providing lots in conformance with the resource calculations for minimum lot area for Remaining Lot 12.
3. A design waiver was previously granted from Section 13-526 for providing lots in conformance with the resource calculations for minimum lot area for Remaining Lot 15 and New Lot 15.01.

Lastly, as an alternative to providing an undersized Remaining Lot 21 of 7.772 acres, an alternative plan of moving the existing driveway is shown on the exhibit to move the existing driveway to the east. This will create a 10.586 acre Remaining Lot 21 and 21.46 acres for Remaining Lot 19.

# Memorandum

To: Bedminster Township Land Use Board  
From: Francis J. Banisch III, PP/AICP  
Date: June 5, 2020  
Re: 1120 Lamington Road, LLC  
Block 39, Lot 12, 15, 21  
1120 Lamington Road  
R-10 Rural Residential District  
Amended Preliminary and Final Major Subdivision with Variance - LUB# 20-001 (PB)

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## **1.0 Documents reviewed**

- 1.1 Land Use Application undated
- 1.2 Application Checklist with attachments, undated  
Environmental Review Scoping Checklist
- 1.3 Boundary Survey, prepared by Jeffrey Grunn, PLS, dated March 22, 2019
- 1.4 Set of Plans entitled, "Bedminster Farms, Block 39, Lots 12, 15, 21" prepared by Ronald A Kennedy, P.E., Gladstone Design, Inc., dated January 15, 2020, consisting of 14 sheets
- 1.5 Technical Review and photo overlay prepared by Paul Ferriero, PE, dated June 5, 2020

## **2.0 Nature of Application**

- 2.1 The applicant proposes to subdivide Block 39, Lots 12, 15 and 21, located at 1120 and 1310 Lamington Road, into nine (9) lots in the R-10 Rural Residential District. The three lots total approximately 113.9 acres. Existing Lots 15 and 21 are currently developed with two-story single family dwellings, with associated improvements, while Lot 12 is undeveloped. All three lots are heavily constrained with wetlands, stream corridor areas and associated transition areas (buffers).
- 2.2 Lot 15 previously received approval for a two-lot subdivision. However, the applicant now seeks to utilize this lot as part of the three-lot tract proposed for subdivision.
- 2.3 A private road would serve most lots in the subdivision, gaining access from Lamington Road across new Lot 21.04. This private drive will extend across Lot 21 to the south and then west into Lot 12, terminating at a cul-de-sac at new Lots 12.09, 12.08, 12.07 and 12.06.
  - Lot 15.01 and Lot 12.07 would access the cul-de-sac with common driveways, rather than through their "stems" which have frontage but are heavily constrained.

- Lot 21 would be subdivided to include new Lot 21.04, along Lamington Road and remaining lot 21.
- Lot 15 would be subdivided into two lots; Lot 15.01 and remaining Lot 15. New Lot 15.01 is a flag lot to the south. The plan indicates that the current single-family home on Lot 15 will be removed and a new building site is identified. Access to Lot 15 will extend from Lamington Road. Access to Lot 15.01, in the “preferred” layout, is via a common driveway with new Lot 12.09, both accessing the cul-de-sac.
- Lot 12 would be subdivided into 5 lots including remaining Lot 12, Lot 12.06, Lot 12.07, Lot 12.08 and Lot 12.09. Lot 12.07 would achieve access through a common driveway with Lot 12.08 to reach the cul-de-sac.

2.4 The subdivision requires the following variance relief:

- Two lots require relief from the minimum lot size circle (Section 13-401A.4) where 500' is required and 461.8' is proposed for remaining Lot 15 and 356.2' for remaining Lot 21.
- Lot Coverage - Remaining Lot 21 requires proposes 12.08% where 5% is permitted.
- Two lots require relief from the front yard setback where 200' is required, remaining Lot 21 proposes 92' and proposed Lot 21.04 is 102'.

2.5 Two pre-existing non-conforming conditions exist on proposed Lot 21. The minimum required accessory building setback is 50' while the guest house is 5.8' from the main dwelling.

### **3.0 Comments**

3.1 The properties are heavily constrained with wetlands, stream corridor and wetland transition areas. The “preferred” subdivision layout depicts lots that will have access through a private road terminating at a cul-de-sac and common driveways. The "preferred" plan shows Lots 15.01 and 12.07 having access via a driveway that connects to the cul-de-sac, terminating on Lot 12.09. The proposed lots have frontage that meets ordinance requirements, however the proposed access would be through common driveways. The access layout is highly unusual and the applicant should explain why a more traditional access configuration is not possible.

3.2 Resource conservation calculations on Sheet 1 indicate that Lot 12 has 17.3 unconstrained acres and Lot 21 has 50.5 unconstrained acres, for a total of 67.8 acres. No resource conservation calculations are provided for Lot 15, which has extensive wetlands and transition areas. Complete resource conservation calculations for all parcels is required to determine the total number of lots permitted.

3.3 It appears the existing house on Lot 15 will be removed and replaced with a new dwelling. The applicant should provide testimony regarding any existing dwellings, on any lots, what will be removed and what will remain.

- 3.4 The applicant should provide testimony regarding the developable area of each lot, the configuration of constrained lands and how each lot can provide a suitable usable lot area with limited disturbance. Natural features should be retained to the maximum extent, in order to provide screening and protect habitat areas and other natural features.
- 3.5 If the guest house is to remain as a dwelling unit, the subdivision layout should be amended to reflect the requirements for an accessory dwelling as seen below:

**13-601.4 Accessory Dwelling Unit.**

- a. An accessory dwelling unit shall be permitted in the R-10 district only in accordance with the following conditions:
    1. No more than one (1) accessory dwelling unit shall be permitted on any lot, and such unit may be constructed in an existing or new structure.
    2. An accessory dwelling unit shall be at least six hundred (600) square feet and no more than one thousand two hundred (1,200) square feet.
    3. Any lot containing both a principal and an accessory dwelling unit shall be at least fourteen (14) acres in area.
    4. Each dwelling unit shall have its own separate septic system, unless otherwise approved by the Board of Health.
    5. No rent may be charged for any accessory dwelling unit created after the effective date of adoption of this ordinance.\* However, accessory units existing legally prior to the effective date of adoption may be rented.
    6. The detached accessory dwelling unit(s) shall be located within one hundred fifty (150') feet of the principal residence or in an agricultural barn that is the responsibility of the occupant of the accessory dwelling unit.
    7. The access to the accessory dwelling unit(s) must be via the same driveway as the access to the principal dwelling.
- 3.6 The applicant should provide testimony as to the number, size and type of trees to be removed.
- 3.7 Any approval by the Land Use Board should be conditioned upon any other agency having jurisdiction.

cc: Janine Deleon, Land Use Board Secretary, Land Use Board members and professionals (via email)  
Ronald Kennedy, PE (via email)  
Michael Lavery, Esq. (via email)  
1120/1310 Lamington Road, LLC, 222 Ridgedale Avenue, Cedar Knolls, NJ 07927

# Memorandum

To: Bedminster Township Land Use Board  
From: Francis J. Banisch III, PP/AICP  
Date: August 12, 2020 / **Updated October 30, 2020**  
Re: 1120 Lamington Road, LLC (Bedminster Farms)  
Block 39, Lot 12, 15, 21  
1120 Lamington Road  
R-10 Rural Residential District  
Amended Preliminary and Final Major Subdivision with Variance - LUB# 20-001 (PB)

---

## **1.0 Documents reviewed**

- 1.1 Set of Plans entitled, "Bedminster Farms, Block 39, Lots 12, 15, 21" prepared by Ronald A Kennedy, P.E., Gladstone Design, Inc., dated January 15, 2020, revised through August 28, 2020, consisting of 14 sheets
- 1.2 Letters from Ron Kennedy PE dated August 3, 2020 and August 28, 2020
- 1.3 Technical Review prepared by Paul Ferriero, PE, dated August 5, 2020
- 1.4 Bedminster Farms Executive Summary prepared by Gladstone Design, Inc., dated October 6, 2020

## **2.0 Nature of Application**

- 2.1 The applicant previously proposed to subdivide Block 39, Lots 12, 15 and 21, located at 1120 and 1310 Lamington Road, into nine (9) lots in the R-10 Rural Residential District. The three lots total approximately 113.9 acres. The revised proposal would expand the tract to include vacant Lot 19 (12.3 acres), bringing the tract total to 126.33 acres. The applicant now proposes 8 lots. Existing Lots 15 and 21 are currently developed with two-story single-family dwellings, with associated improvements, while Lot 12 is undeveloped. All four lots are heavily constrained with wetlands, stream corridor areas and associated transition areas (buffers).
- 2.2 Lot 15 previously received approval for a two-lot subdivision requiring a stream crossing to reach Lot 15.01, the southerly lot. The applicant now proposes that the prior subdivision of Lot 15 into two lots would not be modified, except that the access to Lot 15.01 would now be achieved by way of a driveway from the internal cul-de-sac on "Proposed Road A". Variance relief previously granted for Lot 15 as a stand-alone subdivision is not necessarily applicable to the current application. The reconfiguration of access and inclusion of these parcels within the overall tract appears to subject them to a new analysis of the merits of variances previously granted when they were not part of this tract.

2.3 A private road would serve most lots in the subdivision, gaining access from Lamington Road across new Lot 21.04. This private drive will extend across Lot 21 to the south and then west into Lot 12, terminating at a cul-de-sac at new Lots 12.09, 12.08, 12.07 and 12.06.

- Lot 15.01 would access the cul-de-sac with a private driveway, rather than through the “stem” which has frontage but is heavily constrained.
- Lot 21 would be subdivided to include new Lot 21.04, along Lamington Road and remaining Lot 21.
- Lot 15 would remain subdivided into two lots - Lot 15.01 and remaining Lot 15. New Lot 15.01 is a flag lot to the south. The plan indicates that the current single-family home on Lot 15 will be removed and a new building site is identified. Access to Lot 15 will extend from Lamington Road. Access to Lot 15.01 would be via a common driveway with new Lot 12.09, both accessing the cul-de-sac.
- Lot 12 would become 5 lots, including remaining Lot 12, Lot 12.06, Lot 12.07, Lot 12.08 and Lot 12.09. Thus, the total lot yield would be 8 residential lots and one private road lot.
- Lot 19 is being merged with a portion of Lot 21 to create a 23.8 acre lot, leaving a 7.8 acre undersized parcel as remaining Lot 21.

2.4 According to the October 6, 2020 Bedminster Farms Executive Summary, the following variances and design waivers are required for the proposed subdivision.

- A variance is requested from Section 13-410A.4 for minimum lot area where 10-acres minimum is required and 7.7772 acres is proposed for Remaining Lot 21.
- A variance is requested from Section 13-401A.4 for minimum front yard setback where 200-foot minimum is required and 92 feet is proposed to the private road right-of-way on Remaining Lot 21.
- A variance is requested from Section 401A.4 for minimum lot size of 500-foot diameter circle transcribed within the lot lines where 358.2 feet is proposed on Remaining Lot 21.
- A variance was previously granted from Section 401A.4 for minimum lot size of 500-foot diameter circle transcribed within the lot lines where 461.8 feet was granted for Remaining Lot 15.
- A design waiver was previously granted from Section 13-526 for providing a lot in conformance with the resource conservation calculations for maximum tract yield for Existing Lot 15.
- A design waiver is requested from Section 13-526 for providing lots in conformance with the resource calculations for minimum lot area for Remaining Lot 12.
- A design waiver was previously granted from Section 13-526 for providing lots in conformance with the resource calculations for minimum lot area for Remaining Lot 15 and New Lot 15.01.

2.5 The subdivision requires the following variance relief:

- Two lots require relief from the minimum lot size circle (Section 13-401A.4). Where 500' is required, 461.8' is proposed for remaining Lot 15 and for remaining Lot 21 the applicant should clarify whether it is the 320.4' shown on the zoning table or the 321.2' shown on Sheet 6.
- One lot requires relief from the front yard setback where 200' is required, remaining Lot 21 proposes 92'.
- Lot 21 also requires relief from the minimum lot area, with 7.72 acres proposed and 10.51 acres required.

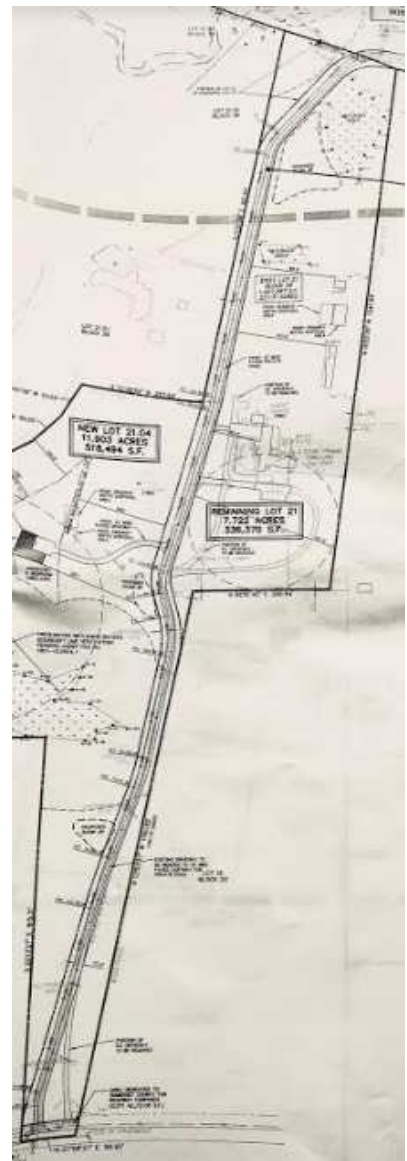
2.6 There are pre-existing non-conforming conditions on remaining Lot 21. The minimum required accessory building setback is 50' while the guest house is 5.8' from the main dwelling. Bedminster Code Section 13-601.4 (Accessory Dwelling Unit) requires 14 acres for a parcel with a primary dwelling and an accessory dwelling where remaining Lot 21 is only 7.77 acres.

**3.0 Comments**

3.1 The properties are heavily constrained with wetlands, stream corridor and wetland transition areas. The “preferred” subdivision layout depicts lots that will have access through a private road terminating at a cul-de-sac and extended common driveways off the cul-de-sac. The applicant should explain why a more traditional access configuration is not possible.

3.2 According to § 13-526, there are two types of Resource Conservation Calculations required as part of any major subdivision application - one to determine the maximum number of lots 13-526(b) and another to demonstrate the net developable area on each proposed lot. 13-526(c) The tract area maximum yield calculation is shown on Sheet 1 and indicates that the three original lots have a development potential of 7.23 lots, which should be rounded down to a maximum of 7 residential lots, provided they can each also meet other bulk parameters. The Minimum Gross Lot Area calculations required according to § 13-526(c), which were provided on separate 8 1/2” x 11” sheets, are not on the plan sheets.

3.3 According to the requirements of § 13-526(c), the applicant needs to demonstrate that each lot meets the Minimum Gross Lot Area, which is the minimum area of the lot adjusted for constrained Resource Conservation lands. Hence, the Minimum Gross Lot Area is determined by adding the acreage of constrained lands to the minimum lot area. As a result, if a lot is proposed in the 10-acre zone, it must be at least 10 net developable acres, exclusive of the





resource conservation lands. As noted on page 8 of Paul Ferriero's August 5 letter, only three of the eight proposed lots achieve the minimum gross area required by Section 13-526.

- 3.4 The August 3 letter from project engineer Matt Draheim notes that one of the lots to be subdivided from Lot 21 does not meet the *gross* acreage calculation. This undersized 7.77-acre lot is irregular in shape with a length of roughly 1,300' and a width that varies from around 330' at the north end to less than 100' at the south end of the lot. It would need to be 10.51 acres to conform.
- 3.5 The applicant should provide testimony regarding how the configuration of constrained lands on each lot allows for a suitable usable lot area with limited disturbance. Natural features should be retained to the maximum extent, in order to provide screening and protect habitat areas and other natural features.
- 3.6 The applicant proposes 8 lots where only 7 are permitted according to the maximum tract yield and only 3 lots actually conform with the R-10 Zone and resource conservation requirements. The applicant should explain why it is not possible to configure the number of lots permitted according to the resource conservation calculations lot circle requirements and required front yard.
- 3.7 The substantial deviations from the zoning requirements require proof that the goals of the master plan will be advanced more by the proposed arrangement, including the extra lot, than if there were only 7 lots as permitted.
- 3.8 Any approval by the Land Use Board should be conditioned upon any other agency having jurisdiction.

cc: Janine De Leon, Land Use Board Secretary, Land Use Board members and professionals (via email)  
Ronald Kennedy, PE (via email)  
Michael Lavery, Esq. (via email)  
1120/1310 Lamington Road, LLC, 222 Ridgedale Avenue, Cedar Knolls, NJ 07927

# Memorandum

To: Bedminster Township Land Use Board  
From: Francis J. Banisch III, PP/AICP  
Date: August 12, 2020  
Re: 1120 Lamington Road, LLC (Bedminster Farms)  
Block 39, Lot 12, 15, 21  
1120 Lamington Road  
R-10 Rural Residential District  
Amended Preliminary and Final Major Subdivision with Variance - LUB# 20-001 (PB)

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## **1.0 Documents reviewed**

- 1.1 Set of Plans entitled, "Bedminster Farms, Block 39, Lots 12, 15, 21" prepared by Ronald A Kennedy, P.E., Gladstone Design, Inc., dated January 15, 2020, revised through August 3, 2020, consisting of 14 sheets.
- 1.2 Letter from Ron Kennedy PE dated August 3, 2020.
- 1.3 Technical Review prepared by Paul Ferriero, PE, dated August 5, 2020

## **2.0 Nature of Application**

- 2.1 The applicant proposes to subdivide Block 39, Lots 12, 15 and 21, located at 1120 and 1310 Lamington Road, into nine (9) lots in the R-10 Rural Residential District. The three lots total approximately 113.9 acres. Existing Lots 15 and 21 are currently developed with two-story single-family dwellings, with associated improvements, while Lot 12 is undeveloped. All three lots are heavily constrained with wetlands, stream corridor areas and associated transition areas (buffers).
- 2.2 Lot 15 previously received approval for a two-lot subdivision. However, the applicant now seeks to utilize this lot as part of the three-lot tract proposed for subdivision. Variance relief previously granted for Lot 15 as a stand-alone subdivision is not necessarily applicable to the current application.
- 2.3 A private road would serve most lots in the subdivision, gaining access from Lamington Road across new Lot 21.04. This private drive will extend across Lot 21 to the south and then west into Lot 12, terminating at a cul-de-sac at new Lots 12.09, 12.08, 12.07 and 12.06.
  - Lot 15.01 and Lot 12.07 would access the cul-de-sac with common driveways, rather than through their "stems" which have frontage but are heavily constrained.
  - Lot 21 would be subdivided to include new Lot 21.04, along Lamington Road and remaining lot 21.

- Lot 15 would be subdivided into two lots - Lot 15.01 and remaining Lot 15. New Lot 15.01 is a flag lot to the south. The plan indicates that the current single-family home on Lot 15 will be removed and a new building site is identified. Access to Lot 15 will extend from Lamington Road. Access to Lot 15.01, in the “preferred” layout, is via a common driveway with new Lot 12.09, both accessing the cul-de-sac.
- The *applicant has reduced the proposed lot yield* for Lot 12 from 5 lots to 4 lots, including remaining Lot 12, Lot 12.06, Lot 12.07 and Lot 12.08. Thus, the total lot yield would be 8 residential lots and one private road lot.

2.4 The subdivision requires the following variance relief:

- Two lots require relief from the minimum lot size circle (Section 13-401A.4). Where 500' is required, 461.8' is proposed for remaining Lot 15 and for remaining Lot 21 the applicant should clarify whether it is the 320.4' shown on the zoning table or the 321.2' shown on Sheet 6.
- One lot requires relief from the front yard setback where 200' is required, remaining Lot 21 proposes 92'.
- Lot 21 also requires relief from the minimum lot area, with 7.72 acres proposed and 10.51 acres required.

2.5 There are pre-existing non-conforming conditions on remaining Lot 21. The minimum required accessory building setback is 50' while the guest house is 5.8' from the main dwelling. Bedminster Code Section 13-601.4 (Accessory Dwelling Unit) requires 14 acres for a parcel with a primary dwelling and an accessory dwelling where remaining Lot 21 is only 7.77 acres.

### 3.0 Comments

3.1 The properties are heavily constrained with wetlands, stream corridor and wetland transition areas. The “preferred” subdivision layout depicts lots that will have access through a private road terminating at a cul-de-sac and extended common driveways off the cul-de-sac. The applicant should explain why a more traditional access configuration is not possible.

3.2 According to § 13-526, there are two types of Resource Conservation Calculations required as part of any major subdivision application - one to determine the maximum number of lots 13-526(b) and another to demonstrate the net developable area on each proposed lot. 13-526(c) The tract area maximum yield calculation is shown on Sheet 1 and indicates that the three original lots have a development potential of 7.23 lots, which should be rounded down to a maximum of 7 residential lots, provided they can each also meet other bulk parameters. The Minimum Gross Lot Area calculations required according to § 13-526(c), which were provided on separate 8 1/2” x 11” sheets, are not on the plan sheets.

3.3 According to the requirements of § 13-526(c), the applicant needs to demonstrate that each lot meets the Minimum Gross Lot Area, which is the minimum area of the lot adjusted for constrained Resource Conservation lands. Hence, the Minimum Gross Lot Area is determined by adding the acreage of constrained lands to the minimum lot area. As a result, if a lot is proposed in the 10-acre zone, it must be at least 10 net developable acres, exclusive of the resource conservation lands. As noted on page 8 of Paul Ferriero's August 5 letter, only three of the eight proposed lots achieve the minimum gross area required by Section 13-526.

3.4 The August 3 letter from project engineer Matt Draheim notes that one of the lots to be subdivided from Lot 21 does not meet the *gross* acreage calculation. This undersized 7.77-acre lot is irregular in shape with a length of roughly 1,300' and a width that varies from around 330' at the north end to less than 100' at the south end of the lot. It would need to be 10.51 acres to conform.

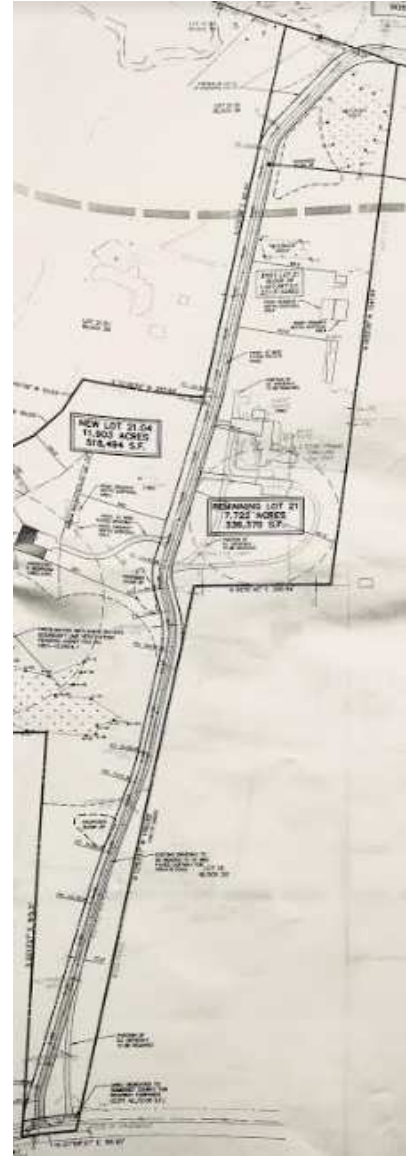
3.5 The applicant should provide testimony regarding how the configuration of constrained lands on each lot allows for a suitable usable lot area with limited disturbance. Natural features should be retained to the maximum extent, in order to provide screening and protect habitat areas and other natural features.

3.6 The applicant proposes 8 lots where only 7 are permitted according to the maximum tract yield and only 3 lots actually conform with the R-10 Zone and resource conservation requirements. The applicant should explain why it is not possible to configure the number of lots permitted according to the resource conservation calculations lot circle requirements and required front yard.

3.7 The substantial deviations from the zoning requirements require proof that the goals of the master plan will be advanced more by the proposed arrangement, including the extra lot, than if there were only 7 lots as permitted.

3.8 Any approval by the Land Use Board should be conditioned upon any other agency having jurisdiction.

cc: Janine De Leon, Land Use Board Secretary, Land Use Board members and professionals (via email)  
Ronald Kennedy, PE (via email)  
Michael Lavery, Esq. (via email)  
1120/1310 Lamington Road, LLC, 222 Ridgedale Avenue, Cedar Knolls, NJ 07927



# GLADSTONE DESIGN, Inc.

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Landscape Architects  
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Ronald A. Kennedy, P.E.; P.P.; CME; LEED AP  
Kurt T. Hanic, P.L.S.  
Robert C. Morris  
Robert C. Moschello, P.E.

August 3, 2020  
984-03

Ms. Janine DeLeon, Secretary  
Bedminster Township Land Use Board  
1 Miller Lane  
Bedminster, NJ 07921

Re: Bedminster Farms  
Preliminary and Final Major Subdivision Plans  
Block 39, Lots 12, 15, & 21, 1120 & 1320 Lamington Road  
Bedminster Township, Somerset County, New Jersey

Dear Board Members,

On behalf of the applicant, Bedminster Farms, please find attached the following revised plans and documentation in support of the application:

1. Five (5) full size and twelve (12) half-sized partial sets of the Preliminary and Final Major Subdivision plans entitled "Bedminster Farms" dated January 15, 2020, prepared by Gladstone Design, Inc. The subdivision plan set includes, Sheet 1 of 14 Project Data/Vicinity Plan, Sheets 2 and 3 of 14 Existing Conditions and Environmental Constraints Plan, Sheets 6, 7, 8, and 9 of 14 Site Dimension Plan and Grading Drainage Utility Plan, and Sheet 12 of 14 Driveway Profile.
2. Seventeen (17) copies of Resource Conservation Calculation Worksheets, dated January 15, 2020, revised through August 3, 2020, prepared by Gladstone Design, Inc.

In response to comments received by the Bedminster Township Land Use Board at the July 9, 2020 meeting, the subdivision plans have been revised as follows:

1. The lot yield for existing Lot 12 has been reduced from 5 lots to 4 lots to be consistent with the calculations for lots based in the Environmental Constraint Forms. A total of 4 lots is calculated based upon the approximate 65 acres with the reductions for environmental constraints. Based upon the configuration of the lots and existing conditions, 3 of the four lots are in excess of the net acreage and one lot is under the net acreage. All of the Lot 12 lots exceed the minimum lot area and setback requirements.
2. The existing driveway on Lot 21 is being extended as a private roadway to the rear of Lot 12. In order to simplify the application, the Right of Way is defined as a separate lot. The total lot area of the ROW is approximately 3.846 acres.

3. Since the proposed private road bisects Lot 21, two separate lots are being proposed. New Lot 21.04 is proposed at 11.903 acres. The vacant lot conforms with the lot circle, setbacks, and total acreage. The proposed lot does not conform to the net acreage calculation based in the Environmental Constraints.
4. With the dedication of the Right of Way for the private roadway bisecting the lot, remaining Lot 21 is proposed with a gross acreage of 7.772 acres. The setbacks for the existing house and barn will still require relief. The initial application had a lot coverage of 12%. The changes to the layout including the right of way as a separate lot and removing some of the existing driveway so that the lot coverage will now conform to the 5% lot coverage.
5. There are no changes to Lot 15 and 15.01 as originally proposed.

Should you have any questions or require additional information, please do not hesitate to contact this office.

Sincerely,

GLADSTONE DESIGN, INC.

A handwritten signature in black ink, appearing to read 'Matt Draheim', enclosed in a large, loopy oval shape.

Matt Draheim, L.L.A.

Cc: Michael Lavery, Project Attorney  
1310 Lamington, LLC., Applicant  
Paul Ferriero, P.E., Ferriero Engineering, Board Engineer  
Frank Banisch, P.P., Banisch Associates, Board Planner  
Thomas Collins, Esq., Board Attorney

Enclosure

Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 8/3/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 12**

**RESOURCE CONSERVATION AREA**  
**MAXIMUM TRACT YIELD CALCULATION**  
**Lot 12**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Gross Tract Area			68.52
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.			0.00
3.	Adjusted Gross Tract Area (Line 1 less Line 2) Resource Conservation Areas: (see Notes (a) and (b))			68.52
4.	Bodies of water, area of flood plains, wetlands, stream corridors	21.33	1	21.33
5.	Area of slopes 25% and greater based on 10' contour intervals	0.04	1	0.04
6.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0.19	0.75	0.14
7.	NJDEP - required wetlands transition areas	9.25	0.75	6.94
8.	Area of 300' buffer to Category 1 Waters	0	0.5	0.00
9.	Total Deductible Resource Conservation Area (sum of Column C, Lines 4 through 8)			28.45
10.	Net site area adjusted for Resource Conservation Areas (Line 3 less Line 9)			40.07
11.	Maximum permitted density or floor area ratio			0.10
12.	Maximum permitted number of principal dwelling units or non-residential floor area (Line 10 multiplied by Line 11) (see Note (c))			4.01

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Round down to the nearest dwelling unit or square foot.
- (d) Maximum Tract Yield Calculation Form taken from Bedminster Ordinance 13-526

Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 8/3/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 12**

**RESOURCE CONSERVATION AREA  
 MINIMUM LOT AREA CALCULATION FORM  
 Remaining Lot 12**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Bodies of water, area of flood plains, wetlands, stream corridors	12.686	1	12.69
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.	0	1	0.00
3.	Area of slopes 25% and greater based on 10' contour intervals	0.04	1	0.04
4.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0.19	0.75	0.14
5.	NJDEP - required wetlands transition areas	1.04	0.75	0.78
6.	Area of 300' buffer to Category 1 Waters		0.5	0.00
7.	Total Deductible Resource Conservation Area (sum of Column C, Lines 1 through 6)			13.65
8.	Minimum Lot Area required per Article 13-400	10		10.00
9.	Minimum Gross Lot Area adjusted for Resource Conservatin Areas (Line 7 plus Line 8)			23.65

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Minimum Gross Lot Area Calculation Form taken from Bedminster Ordinance 13-526



Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 8/3/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 12**

**RESOURCE CONSERVATION AREA  
 MINIMUM LOT AREA CALCULATION FORM  
 Proposed Lot 12.06**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Bodies of water, area of flood plains, wetlands, stream corridors	5.15	1	5.15
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.	0	1	0.00
3.	Area of slopes 25% and greater based on 10' contour intervals	0	1	0.00
4.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0	0.75	0.00
5.	NJDEP - required wetlands transition areas	3.551	0.75	2.66
6.	Area of 300' buffer to Category 1 Waters		0.5	0.00
7.	Total Deductible Resource Conservation Area (sum of Column C, Lines 1 through 6)			7.82
8.	Minimum Lot Area required per Article 13-400	10		10.00
9.	Minimum Gross Lot Area adjusted for Resource Conservation Areas (Line 7 plus Line 8)			17.82

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Minimum Gross Lot Area Calculation Form taken from Bedminster Ordinance 13-526

Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 8/3/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 12**

**RESOURCE CONSERVATION AREA  
 MINIMUM LOT AREA CALCULATION FORM  
 Proposed Lot 12.07**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Bodies of water, area of flood plains, wetlands, stream corridors	3.129	1	3.13
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.	0	1	0.00
3.	Area of slopes 25% and greater based on 10' contour intervals	0	1	0.00
4.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0	0.75	0.00
5.	NJDEP - required wetlands transition areas	3.50	0.75	2.63
6.	Area of 300' buffer to Category 1 Waters		0.5	0.00
7.	Total Deductible Resource Conservation Area (sum of Column C, Lines 1 through 6)			5.76
8.	Minimum Lot Area required per Article 13-400	10		10.00
9.	Minimum Gross Lot Area adjusted for Resource Conservatin Areas (Line 7 plus Line 8)			15.76

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Minimum Gross Lot Area Calculation Form taken from Bedminster Ordinance 13-526

Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 8/3/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 12**

**RESOURCE CONSERVATION AREA  
 MINIMUM LOT AREA CALCULATION FORM  
 Proposed Lot 12.08**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Bodies of water, area of flood plains, wetlands, stream corridors	0.356	1	0.36
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.	0	1	0.00
3.	Area of slopes 25% and greater based on 10' contour intervals	0	1	0.00
4.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0	0.75	0.00
5.	NJDEP - required wetlands transition areas	1.40	0.75	1.05
6.	Area of 300' buffer to Category 1 Waters		0.5	0.00
7.	Total Deductible Resource Conservation Area (sum of Column C, Lines 1 through 6)			1.40
8.	Minimum Lot Area required per Article 13-400	10		10.00
9.	Minimum Gross Lot Area adjusted for Resource Conservation Areas (Line 7 plus Line 8)			11.40

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Minimum Gross Lot Area Calculation Form taken from Bedminster Ordinance 13-526

Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 8/3/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 15**

**RESOURCE CONSERVATION AREA**  
**MAXIMUM TRACT YIELD CALCULATION**  
**Lot 15**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Gross Tract Area			22.38
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.			0.00
3.	Adjusted Gross Tract Area (Line 1 less Line 2) Resource Conservation Areas: (see Notes (a) and (b))			22.38
4.	Bodies of water, area of flood plains, wetlands, stream corridors	4.4	1	4.40
5.	Area of slopes 25% and greater based on 10' contour intervals	0	1	0.00
6.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0.11	0.75	0.08
7.	NJDEP - required wetlands transition areas	1.87	0.75	1.40
8.	Area of 300' buffer to Category 1 Waters		0.5	0.00
9.	Total Deductible Resource Conservation Area (sum of Column C, Lines 4 through 8)			5.88
10.	Net site area adjusted for Resource Conservation Areas (Line 3 less Line 9)			16.50
11.	Maximum permitted density or floor area ratio			0.10
12.	Maximum permitted number of principal dwelling units or non-residential floor area (Line 10 multiplied by Line 11) (see Note (c))			1.65

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Round down to the nearest dwelling unit or square foot.
- (d) Maximum Tract Yield Calculation Form taken from Bedminster Ordinance 13-526

Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 8/3/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 15 (Remaining Lot 15)**

**RESOURCE CONSERVATION AREA**  
**MINIMUM LOT AREA CALCULATION FORM**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
	Resource Conservation Areas: (see Notes (a) and (b))			
1.	Bodies of water, area of flood plains, wetlands, stream corridors	1	1	1.00
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.		1	0.00
3.	Area of slopes 25% and greater based on 10' contour intervals		1	0.00
4.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0.00	0.75	0.00
5.	NJDEP - required wetlands transition areas	1.53	0.75	1.15
6.	Area of 300' buffer to Category 1 Waters		0.5	0.00
7.	Total Deductible Resource Conservation Area (sum of Column C, Lines 1 through 6)			2.15
8.	Minimum Lot Area required per Article 13-400	10		10.00
9.	Minimum Gross Lot Area adjusted for Resource Conservation Areas (Line 7 plus Line 8)			12.15

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Minimum Gross Lot Area Calculation Form taken from Bedminster Ordinance 13-526

Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 8/3/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 15 (Proposed Lot 15.01)**

**RESOURCE CONSERVATION AREA**  
**MINIMUM LOT AREA CALCULATION FORM**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
	Resource Conservation Areas: (see Notes (a) and (b))			
1.	Bodies of water, area of flood plains, wetlands, stream corridors	3.4	1	3.40
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.		1	0.00
3.	Area of slopes 25% and greater based on 10' contour intervals		1	0.00
4.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0.11	0.75	0.08
5.	NJDEP - required wetlands transition areas	0.33	0.75	0.25
6.	Area of 300' buffer to Category 1 Waters		0.5	0.00
7.	Total Deductible Resource Conservation Area (sum of Column C, Lines 1 through 6)			3.73
8.	Minimum Lot Area required per Article 13-400	10		10.00
9.	Minimum Gross Lot Area adjusted for Resource Conservatin Areas (Line 7 plus Line 8)			13.73

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Minimum Gross Lot Area Calculation Form taken from Bedminster Ordinance 13-526

Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 8/3/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 21**

**RESOURCE CONSERVATION AREA**  
**MAXIMUM TRACT YIELD CALCULATION**  
**Lot 21**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Gross Tract Area			23.13
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.			0.41
3.	Adjusted Gross Tract Area (Line 1 less Line 2) Resource Conservation Areas: (see Notes (a) and (b))			22.72
4.	Bodies of water, area of flood plains, wetlands, stream corridors	4.22	1	4.22
5.	Area of slopes 25% and greater based on 10' contour intervals	0	1	0.00
6.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0.45	0.75	0.34
7.	NJDEP - required wetlands transition areas	3.22	0.75	2.42
8.	Area of 300' buffer to Category 1 Waters	0	0.5	0.00
9.	Total Deductible Resource Conservation Area (sum of Column C, Lines 4 through 8)			6.97
10.	Net site area adjusted for Resource Conservation Areas (Line 3 less Line 9)			15.75
11.	Maximum permitted density or floor area ratio			0.10
12.	Maximum permitted number of principal dwelling units or non-residential floor area (Line 10 multiplied by Line 11) (see Note (c))			1.57

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Round down to the nearest dwelling unit or square foot.
- (d) Maximum Tract Yield Calculation Form taken from Bedminster Ordinance 13-526

Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 8/3/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 21**

**RESOURCE CONSERVATION AREA  
 MINIMUM LOT AREA CALCULATION FORM  
 Proposed Lot 21.04**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Bodies of water, area of flood plains, wetlands, stream corridors	3.71	1	3.71
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.	0.41	1	0.41
3.	Area of slopes 25% and greater based on 10' contour intervals	0	1	0.00
4.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0.38	0.75	0.28
5.	NJDEP - required wetlands transition areas	2.71	0.75	2.03
6.	Area of 300' buffer to Category 1 Waters		0.5	0.00
7.	Total Deductible Resource Conservation Area (sum of Column C, Lines 1 through 6)			6.43
8.	Minimum Lot Area required per Article 13-400	10		10.00
9.	Minimum Gross Lot Area adjusted for Resource Conservation Areas (Line 7 plus Line 8)			16.43

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Minimum Gross Lot Area Calculation Form taken from Bedminster Ordinance 13-526



Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 8/3/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 21**

**RESOURCE CONSERVATION AREA  
 MINIMUM LOT AREA CALCULATION FORM  
 Proposed Lot 21**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Bodies of water, area of flood plains, wetlands, stream corridors	0.51	1	0.51
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.	0	1	0.00
3.	Area of slopes 25% and greater based on 10' contour intervals	0	1	0.00
4.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0	0.75	0.00
5.	NJDEP - required wetlands transition areas	0	0.75	0.00
6.	Area of 300' buffer to Category 1 Waters		0.5	0.00
7.	Total Deductible Resource Conservation Area (sum of Column C, Lines 1 through 6)			0.51
8.	Minimum Lot Area required per Article 13-400	10		10.00
9.	Minimum Gross Lot Area adjusted for Resource Conservatin Areas (Line 7 plus Line 8)			10.51

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Minimum Gross Lot Area Calculation Form taken from Bedminster Ordinance 13-526

Project: **Bedminster Farms**  
 Date: **1/15/20; Rev 8/3/20**

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lots 12, 15, & 21**

**RESOURCE CONSERVATION AREA**  
**MAXIMUM TRACT YIELD CALCULATION**  
**Lot Total**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Gross Tract Area			114.03
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.			0.41
3.	Adjusted Gross Tract Area (Line 1 less Line 2) Resource Conservation Areas: (see Notes (a) and (b))			113.62
4.	Bodies of water, area of flood plains, wetlands, stream corridors	29.94	1	29.94
5.	Area of slopes 25% and greater based on 10' contour intervals	0.04	1	0.04
6.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0.74	0.75	0.56
7.	NJDEP - required wetlands transition areas	14.33	0.75	10.75
8.	Area of 300' buffer to Category 1 Waters	0	0.5	0.00
9.	Total Deductible Resource Conservation Area (sum of Column C, Lines 4 through 8)			41.28
10.	Net site area adjusted for Resource Conservation Areas (Line 3 less Line 9)			72.34
11.	Maximum permitted density or floor area ratio			0.10
12.	Maximum permitted number of principal dwelling units or non-residential floor area (Line 10 multiplied by Line 11) (see Note (c))			7.23

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Round down to the nearest dwelling unit or square foot.
- (d) Maximum Tract Yield Calculation Form taken from Bedminster Ordinance 13-526

Project: **Bedminster Farms**  
 Date: \_\_\_\_\_

Project #: **984-03**  
 Calculated By: **MDD**

Block & Lot: **Block 39, Lot 21**

**RESOURCE CONSERVATION AREA  
 MINIMUM LOT AREA CALCULATION FORM  
 Proposed Lot 21.04**

		Column A	Column B	Column C
		Acres	Resource Conservation Ratio	Acres
1.	Bodies of water, area of flood plains, wetlands, stream corridors	3.03	1	3.03
2.	Area of existing conservation easements or deed restrictions, where such easements and/or restrictions were imposed as a condition of subdivision or site plan approval.	0.24	1	0.24
3.	Area of slopes 25% and greater based on 10' contour intervals	0	1	0.00
4.	Area of slopes greater than 15% but less than 25% based on 10' contour intervals	0.375	0.75	0.28
5.	NJDEP - required wetlands transition areas	2.3	0.75	1.73
6.	Area of 300' buffer to Category 1 Waters		0.5	0.00
7.	Total Deductible Resource Conservation Area (sum of Column C, Lines 1 through 6)			5.28
8.	Minimum Lot Area required per Article 13-400	10		10.00
9.	Minimum Gross Lot Area adjusted for Resource Conservation Areas (Line 7 plus Line 8)			15.28

**Notes:**

- (a) Enter appropriate acreage in Column A, multiply Column A by factor in Column B and place result in Column C.
- (b) When resource conservation area overlap, enter the affected acreage on the line with the higher resource conservation factor and do not include it in the calculation of the resource conservation area having the lower factor. Do not double-count resource conservation acreage.
- (c) Minimum Gross Lot Area Calculation Form taken from Bedminster Ordinance 13-526

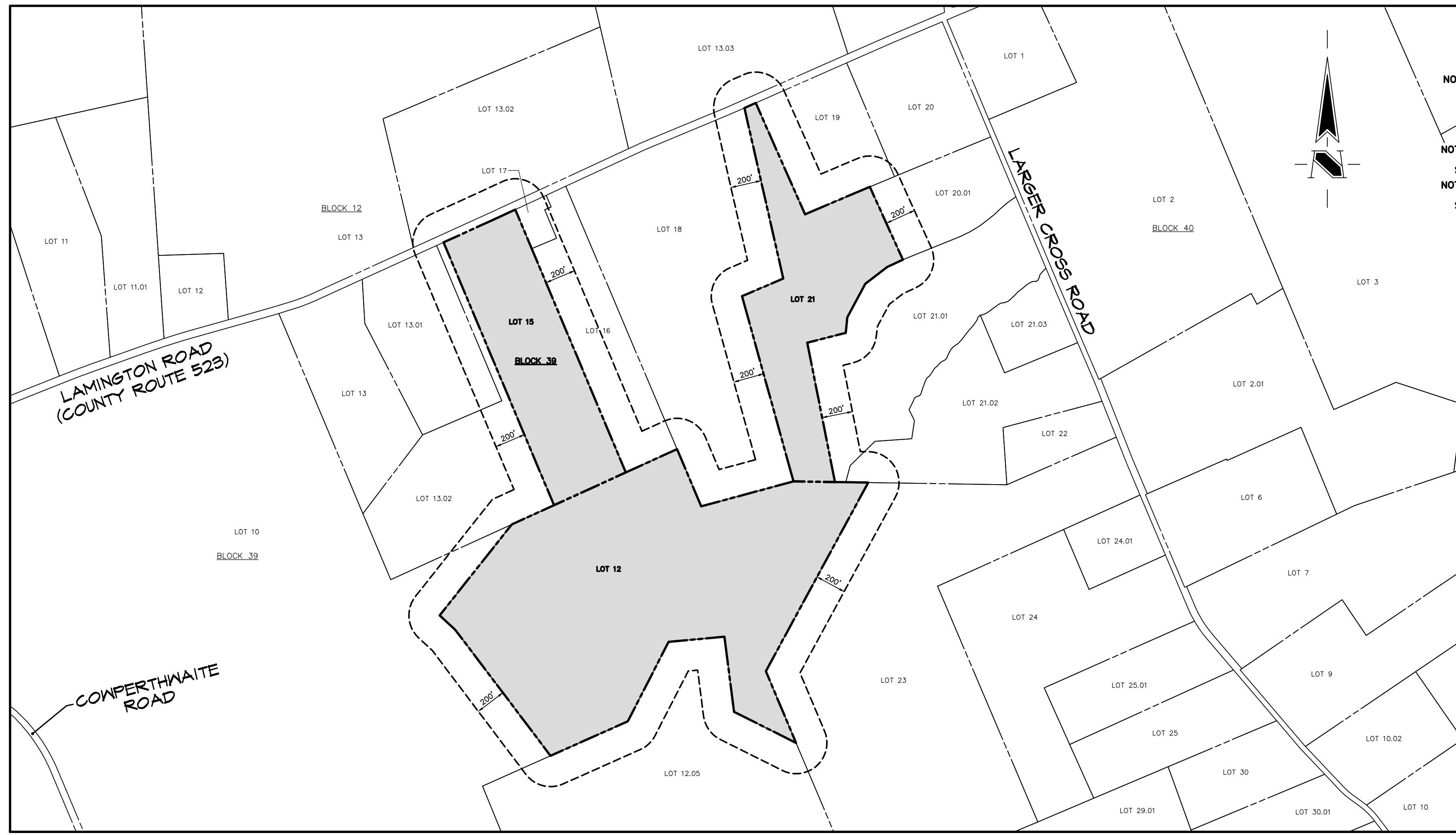
# BEDMINSTER FARMS

BLOCK 39; LOTS 12, 15 & 21

TOWNSHIP OF BEDMINSTER, SOMERSET COUNTY, NEW JERSEY

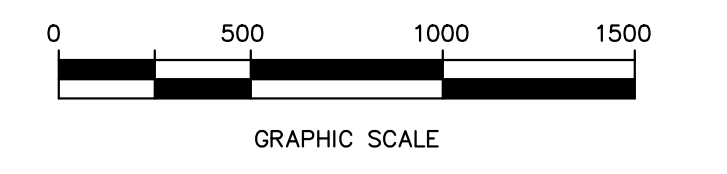
REVISIONS		
NO.	DATE	DESCRIPTION
1.	6/29/20	REV. PER TWP. ENGINEER PLANNER REVIEW LETTERS
2.	8/3/20	REV. LOT CONFIGURATION

PROPERTY OWNERS WITHIN 200 FEET			
BEDMINSTER TOWNSHIP			
BLOCK	LOT	BLOCK	LOT
12	12	39	17
12	13	39	18
12	13.03	39	19
12	14.01	39	20
12	14.01	39	20.01
12	14.01	39	21.01
12	14.01	39	21.02
12	14.02	39	21.03
39	10	39	22
39	13.01	39	23
39	13.02		



ENTIRE SITE AREA IS LOCATED IN THE R-10 ZONE

VICINITY PLAN  
SCALE: 1" = 500'



INDEX OF SUBDIVISION PLAN DRAWINGS		SUBMISSION DRAWINGS	
SHEET NO.	TITLE	SHEET NO.	TITLE
1 OF 14	PROJECT DATA / VICINITY PLAN	1 OF 3	SITE DIMENSION PLAN
2 OF 14	EXISTING CONDITIONS AND ENVIRONMENTAL CONSTRAINTS PLAN	2 OF 3	CONVENTIONAL LAYOUT
3 OF 14	EXISTING CONDITIONS AND ENVIRONMENTAL CONSTRAINTS PLAN	2 OF 3	CONVENTIONAL LAYOUT
4 OF 14	PRELIMINARY AND FINAL SUBDIVISION PLANS	3 OF 3	DRIVEWAY PROFILES
5 OF 14	PRELIMINARY AND FINAL SUBDIVISION PLANS	4 OF 3	CONVENTIONAL LAYOUT
6 OF 14	SITE DIMENSION PLAN (PREFERRED LAYOUT)	5 OF 3	CONVENTIONAL LAYOUT
7 OF 14	SITE DIMENSION PLAN (PREFERRED LAYOUT)	6 OF 3	CONVENTIONAL LAYOUT
8 OF 14	GRADING, DRAINAGE & UTILITY PLAN	7 OF 3	CONVENTIONAL LAYOUT
9 OF 14	GRADING, DRAINAGE & UTILITY PLAN	8 OF 3	CONVENTIONAL LAYOUT
10 OF 14	GRADING, DRAINAGE & UTILITY PLAN	9 OF 3	CONVENTIONAL LAYOUT
11 OF 14	SOIL EROSION-SEDIMENT CONTROL PLAN	10 OF 3	CONVENTIONAL LAYOUT
12 OF 14	DRIVEWAY PROFILE (PREFERRED LAYOUT)	11 OF 3	CONVENTIONAL LAYOUT
13 OF 14	CONSTRUCTION DETAILS	12 OF 3	CONVENTIONAL LAYOUT
14 OF 14	CONSTRUCTION DETAILS	13 OF 3	CONVENTIONAL LAYOUT

- GENERAL NOTES**
- THE PURPOSE OF THESE PLANS IS TO OBTAIN PRELIMINARY AND FINAL MAJOR SUBDIVISION APPROVAL FROM THE BEDMINSTER TOWNSHIP LAND USE BOARD FOR A BLOCK (7) LOT RESIDENTIAL SUBDIVISION WITH PRIVATE ROAD (15) AND ANNEXED PRELIMINARY AND FINAL APPROVAL FOR THE PREVIOUSLY APPROVED TWO (2) LOT SUBDIVISION ON LOT 1.
  - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE FOLLOWING:
    - A. MAP ENTITLED "BOUNDARY SURVEY OF PROPERTY, TAX LOTS 12, 15, 19, & 21 - BLOCK 39, 1120 & 1310 LAMINGTON ROAD, TOWNSHIP OF BEDMINSTER, SOMERSET COUNTY, NEW JERSEY," DATED APRIL 22, 2019, PREPARED BY LAYLAND SURVING.
    - B. MAP ENTITLED "BOUNDARY, TOPOGRAPHIC AND WETLANDS SURVEY PLAN, 1120 LAMINGTON ROAD, LOT 15 BLOCK 39, TOWNSHIP OF BEDMINSTER, SOMERSET COUNTY, NEW JERSEY," DATED MAY 03, 2017 AND LATEST REVISION OCTOBER 18, 2017, PREPARED BY GLADSTONE DESIGN, INC.
    - C. PLANS ENTITLED "PRELIMINARY AND FINAL MAJOR SUBDIVISION PLANS, BEDMINSTER FARMS, BLOCK 39, LOTS 12, 15 & 21, TOWNSHIP OF BEDMINSTER, SOMERSET COUNTY, NEW JERSEY," DATED JANUARY XX, 2020, PREPARED BY GLADSTONE DESIGN, INC.
  - FRESHWATER WETLANDS/WATER BOUNDARY LINE AS VERIFIED BY NADP ON NOVEMBER 20, 2017; FILE NO. 1800-17-00031, ACTIVITY NUMBER PWW1007; (LOT 15 BLOCK 39) THE WETLANDS/WATER BOUNDARY LINE SHOWN ON LOTS 12 AND 21 BLOCK 39 HAVE BEEN VERIFIED BY NADP; FILE NO. 1801-19-00041; ISSUANCE OF LETTER OF INTERPRETATION (LOI) IS PENDING.
  - FLOOD HAZARD AREA LINES VERIFIED BY NADP ON FEBRUARY 25, 2020; FILE NO. 1801-19-00041.
  - THE PROPERTY APPEARS ON THE NATIONAL FLOOD INSURANCE PROGRAM-FIRM FLOOD INSURANCE RATE MAP, SOMERSET COUNTY, NEW JERSEY, PANELS 43 & 44 OF 301; MAP NUMBERS 240350043E AND 240350044E; EFFECTIVE DATE SEPTEMBER 28, 2007 AND IS LOCATED IN ZONES AE AND X.
  - SUBJECT SITE IS LOCATED WITHIN THE R-10 RESIDENTIAL DISTRICT AS PER THE TOWNSHIP OF BEDMINSTER ZONING MAPS.
  - THE ENTIRE TRACT CONSISTS OF 114.036 ACRES.
  - HORIZONTAL DATUM: NAD83; VERTICAL DATUM: NAVD83.
  - SUBDIVISION IS SUBJECT TO THE FOLLOWING REGULATORY AGENCY APPROVALS PRIOR TO FINAL APPROVAL:
    - A. SOMERSET COUNTY PLANNING BOARD APPROVAL.
    - B. NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION FRESHWATER WETLANDS PERMIT.
    - C. NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION FLOOD HAZARD AREA PERMIT.
  - SOIL PROSPECT AND STORMWATER CONTROL PLAN IDENTIFICATION SHALL BE REQUIRED FROM SOMERSET-LINCOLN SOIL CONSERVATION DISTRICT PRIOR TO START OF COMMON WORK IMPROVEMENTS. SEPARATE SOIL PROSPECT IDENTIFICATIONS SHALL BE REQUIRED FOR INDIVIDUAL LOTS AT THE TIME OF FILING FOR BUILDING PERMITS. THE TOTAL AREA OF DISTURBANCE FOR THE PROPOSED COMMON IMPROVEMENTS IS 205.327/25.2 ACRES.
  - SANITARY SEWER TO BE PROVIDED BY INDIVIDUAL ON-SITE SEWER DISPOSAL SYSTEMS. BEDMINSTER TOWNSHIP BOARD OF HEALTH APPROVAL FOR SEPTIC DISPOSAL FIELD LOCATIONS WAS GRANTED IN MAY 2020. SOIL TESTING FOR SEPTIC DISPOSAL FIELDS WAS COMPLETED IN JANUARY 2019 AND WITNESSED BY A REPRESENTATIVE OF THE BEDMINSTER TWP. BOARD OF HEALTH. FINAL SEPTIC SYSTEM DESIGNS TO BE SUBMITTED AT THE TIME OF BUILDING PERMIT.
  - POTABLE WATER TO BE PROVIDED BY INDIVIDUAL ON-SITE PRIVATE WELLS.
  - ELECTRIC SERVICE TO BE PROVIDED BY SP4. A WILL SERVE LETTER HAS BEEN REQUESTED.
  - GAS SERVICE TO BE PROVIDED BY PSE&G. A WILL SERVE LETTER HAS BEEN REQUESTED.
  - CABLE SERVICE TO BE PROVIDED BY COMCAST. A WILL SERVE LETTER HAS BEEN REQUESTED.
  - ALL EXISTING UNDERGROUND UTILITIES HAVE NOT BEEN FIELD VERIFIED AND SHALL BE MARKED OUT PRIOR TO START OF WORK.
  - ALL PROPOSED UTILITIES SHALL BE CONSTRUCTED BELOW GRADE.
  - CONTRACTOR SHALL CALL AN ONE-CALL FOR UTILITY MARK OUT PRIOR TO START OF WORK.
  - PROPOSED LOT AND BLOCK NUMBERS SHOWN ARE SUBJECT TO APPROVAL BY THE BEDMINSTER TOWNSHIP TAX ASSESSOR.
  - ALL EXISTING ON-SITE IMPROVEMENTS SHALL BE REMOVED UNLESS OTHERWISE NOTED.
  - NO STREET LIGHTING IS PROPOSED ALONG PRIVATE ROAD.
  - CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE BOUNDARY RIGHT OF WAY IS SUBJECT TO BEDMINSTER TOWNSHIP REGULATIONS.
  - NO STREET LIGHTING IS PROPOSED ALONG PRIVATE ROAD.
  - PROJECT IS CONSIDERED MAJOR DEVELOPMENT FOR STORM WATER MANAGEMENT PURPOSES. DRAINAGE IMPROVEMENTS HAVE BEEN SHOWN FOR IMPROVEMENTS FOR PRIVATE ROAD, DRAINAGE IMPROVEMENTS ON INDIVIDUAL LOTS ARE CONCEPTUAL TO SHOW CONFORMANCE TO THE RULES, FINAL DESIGNS TO BE PROVIDED AT THE LOT DEVELOPMENT PLANS.
  - INDIVIDUAL LOT DEVELOPMENT AND STORMWATER MANAGEMENT PLANS SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER FOR APPROVAL PRIOR TO ISSUANCE OF BUILDING PERMITS. ALL SITE IMPROVEMENTS SHOWN ON INDIVIDUAL LOTS ARE CONCEPTUAL. EACH LOT SHALL MEET THE REQUIREMENTS FOR A MAJOR DEVELOPMENT PROJECT UNDER THE TOWNSHIP OF BEDMINSTER. THE STORMWATER MANAGEMENT FACILITIES SHALL BE CONSTRUCTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. THE O&M MANUAL SHALL INDICATE THAT THE PROJECT IS PART OF THE OVERALL LARGER PROJECT AND IS THEREFORE, BY CUMULATIVE IMPACTS, CONSIDERED A MAJOR PROJECT UNDER THE STORMWATER MANAGEMENT RULES.
  - PRIVATE ROAD COMPLIES WITH NEW JERSEY RESIDENTIAL SITE IMPROVEMENT STANDARDS (N.J.A.C. 5:21) DEFINITION OF A RURAL LANE WITH 18' CARRYWAY WIDTH, TWO (2) 2' GRADED SHOULDERS AND REQUIRED HORIZONTAL AND VERTICAL GEOMETRY.
  - THREE REMOVAL PERMITS WILL BE REQUIRED FOR EACH INDIVIDUAL LOT PRIOR TO ISSUANCE OF BUILDING PERMIT.
  - PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THE FIRST HOME SERVED BY THE PRIVATE ROAD, THE BASE COURSE FOR THE PROPOSED PRIVATE ROAD SHALL BE INSTALLED AND PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY, FINAL PAVING SHALL BE COMPLETED.
  - A STORMWATER MANAGEMENT FACILITIES OPERATION AND MAINTENANCE MANUAL (O&M MANUAL) SHALL BE PREPARED FOR EACH LOT AND A NOTICE INCLUDED IN THE O&M MANUAL SHALL INDICATE THAT THE PROJECT IS PART OF THE OVERALL LARGER PROJECT AND IS THEREFORE, BY CUMULATIVE IMPACTS, CONSIDERED A MAJOR PROJECT UNDER THE STORMWATER MANAGEMENT RULES.

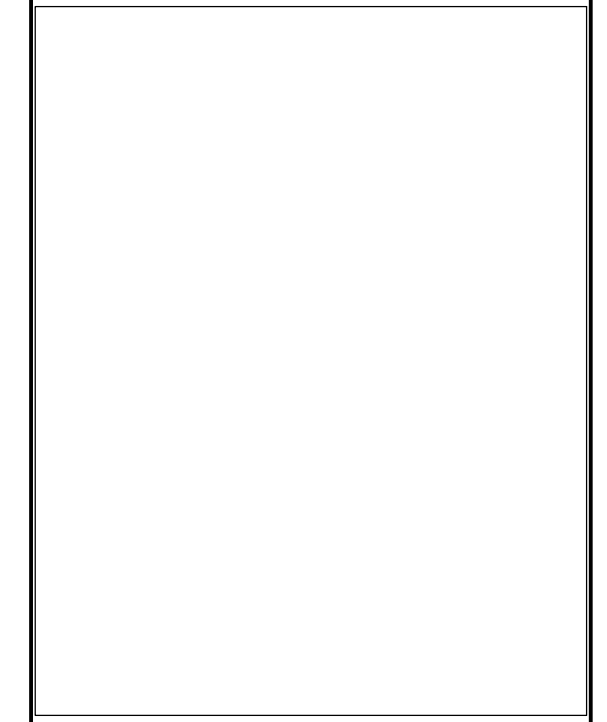
ZONING TABULATION													
(RURAL RESIDENTIAL ZONE - R-10)													
	REQUIRED	EXISTING LOT 12	EXISTING LOT 15	EXISTING LOT 21	REMAINING LOT 12	NEW LOT 12.06	NEW LOT 12.07	NEW LOT 12.08	REMAINING LOT 15	NEW LOT 15.01	REMAINING LOT 21	NEW LOT 21.04	RIGHT-OF-WAY
LOT SIZE (CIRCLE)	500 FT.	1,253.4 FT.	511.8 FT.	606.8 FT.	694.2 FT.	616.7 FT.	504.1 FT.	501.4 FT.	461.8 FT.***	511.8 FT.	320.4 FT.**	570.0 FT.	N/A
LOT AREA	10 ACRES	68,520 AC.	22,385 AC.	23,131 AC.	20,546 AC.	17,995 AC.	16,796 AC.	10,837 AC.	12,468 AC.	7,772 AC.	11,903 AC.	3,846 AC.	3,846 AC.
LOT FRONTAGE	50 FT.	2,984.713 S.F.	975.074 S.F.	1,007,587 S.F.	908,052 S.F.	783,862 S.F.	543,106 S.F.	474,352 S.F.	462.04 FT.	191.9 FT.	158.22 FT.	1,589.5 FT.	N/A
FRONT YARD	0 FT.	512.06 FT.	105.06 FT.	81.7 FT.	771.2 FT.	616.8 FT.	50.02 FT.	50.02 FT.	191.9 FT.	158.22 FT.	1,589.5 FT.	N/A	N/A
SIDE YARD (EACH)	200 FT.	N/A	190.1 FT.	1,392.8 FT.	>200 FT.	>200 FT.	>200 FT.	>200 FT.	>200 FT.	>200 FT.	>200 FT.	>200 FT.	N/A
SIDE YARD (BOTH)	100 FT.	N/A	197.5 FT.	121.2 FT.	>100 FT.	>100 FT.	>100 FT.	>100 FT.	>100 FT.	>100 FT.	>100 FT.	>100 FT.	N/A
REAR YARD	50% OF LOT WIDTH (L.W.)	N/A	85% *	43%	>50% L.W.	>50% L.W.	>50% L.W.	>50% L.W.	>50% L.W.	>50% L.W.	>50% L.W.	>50% L.W.	N/A
MAXIMUM F.A.R.	8%	N/A	0.68%	0.78%	<8% (72,644 S.F.)	<8% (62,708 S.F.)	<8% (58,530 S.F.)	<8% (43,448 S.F.)	<8% (37,948 S.F.)	<8% (37,768 S.F.)	<8% (41,479 S.F.)	<8% (41,479 S.F.)	N/A
LOT COVERAGE	5%	N/A	4.9% (48,074 S.F.)	3.88%	<5% (45,402 S.F.)	<5% (39,193 S.F.)	<5% (36,581 S.F.)	<5% (23,718 S.F.)	<5% (23,603 S.F.)	4.57% (15,361 S.F.)	<5% (25,924 S.F.)	38.7% (64,773 S.F.)	N/A
MAX. BUILDING HEIGHT	35' (2 1/2 STY.)	N/A	<35' / 2 STY.	<35' / 2 STY.	<35' (2 1/2 STY.)	<35' (2 1/2 STY.)	<35' (2 1/2 STY.)	<35' (2 1/2 STY.)	<35' (2 1/2 STY.)	<35' (2 1/2 STY.)	<35' (2 1/2 STY.)	<35' (2 1/2 STY.)	N/A
DENSITY (UNITS/ACRE)	0.1	N/A	0.045	0.43	0.049	0.055	0.059	0.080	0.091	0.092	0.128	0.084	N/A
ACCESSORY BUILDING MIN. DISTANCE TO:													
REAR LINE	50 FT.	N/A	N/A	50.2 FT. (SHED)	N/A	N/A	N/A	N/A	N/A	N/A	471.6 FT. (BARN)	N/A	N/A
OTHER BUILDING WITH GROSS FLOOR AREA 1,000 S.F. OR MORE	50 FT.	N/A	N/A	528.2 FT. (SHED)	N/A	N/A	N/A	N/A	N/A	N/A	50.2 FT. (SHED)	N/A	N/A
OTHER BUILDING WITH GROSS FLOOR AREA LESS THAN 1,000 S.F.	15 FT.	N/A	N/A	144.6 FT. (BARN TO GUEST HOUSE)	N/A	N/A	N/A	N/A	N/A	N/A	142.9 FT. (BARN TO MAIN DWELLING)	N/A	N/A

1. LOT SIZE IS THE DIAMETER OF THE LARGEST CIRCLE THAT CAN BE INSERTED IN THE LOTS  
2. IN NO CASE LESS THAN 5' SETBACK FOR EVER 1' OF WIDTH OF PRINCIPAL BUILDING

\* PRE-EXISTING, NON-CONFORMING  
\*\* VARIANCE REQUESTED  
\*\*\* VARIANCE PREVIOUSLY GRANTED

LOT COVERAGE SUMMARY												
	EXISTING LOT 12	EXISTING LOT 15	EXISTING LOT 21	REMAINING LOT 12	NEW LOT 12.06	NEW LOT 12.07	NEW LOT 12.08	REMAINING LOT 15	NEW LOT 15.01	REMAINING LOT 21	NEW LOT 21.04	RIGHT-OF-WAY
DWELLING	N/A	3,310 S.F.	3,675 S.F.	N/A	N/A	N/A	N/A	N/A	N/A	3,675 S.F.	N/A	N/A
GUEST BUILDING	N/A	N/A	501 S.F.	N/A	N/A	N/A	N/A	N/A	N/A	0 S.F.	N/A	N/A
DRIVEWAY	N/A	35,073 S.F.	29,900 S.F.	N/A	N/A	N/A	N/A	N/A	N/A	6,814 S.F.	N/A	N/A
ACCESSORY BLDGS.	N/A	5,838 S.F.	1,938 S.F.	N/A	N/A	N/A	N/A	N/A	N/A	1,928 S.F.	N/A	N/A
WALKS/PATIOS	N/A	3,420 S.F.	2,946 S.F.	N/A	N/A	N/A	N/A	N/A	N/A	2,946 S.F.	N/A	N/A
PRIVATE ROADWAY	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	64,773 S.F.
WALLS	N/A	303 S.F.	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
MISCELLANEOUS	N/A	130 S.F.	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
TOTAL	N/A	48,074 S.F.	38,978 S.F.	N/A	N/A	N/A	N/A	N/A	N/A	15,361 S.F.	N/A	64,773 S.F.

SOMERSET COUNTY ACCEPTANCE STAMP



- VARIANCES REQUESTED**
- A VARIANCE IS REQUESTED FROM SECTION 13-401A.4 FOR MINIMUM LOT SIZE OF 500' DIAMETER CIRCLE TRANSCRIBED WITHIN THE LOT LINES WHERE 358.2' IS PROPOSED ON REMAINING LOT 21 AND 461.8' IS PROPOSED ON REMAINING LOT 15.
  - A VARIANCE IS REQUESTED FROM SECTION 13-401A.4 FOR MINIMUM FRONT YARD SETBACK WHERE 200' MINIMUM IS REQUIRED AND 92' IS PROPOSED TO THE PRIVATE ROAD RIGHT-OF-WAY ON REMAINING LOT 21.

- DESIGN WAIVERS REQUESTED**
- A DESIGN WAIVER IS REQUESTED FROM SECTION 13-526 FOR PROVIDING LOT(S) IN CONFORMANCE WITH THE RESOURCE CONSERVATION CALCULATIONS FOR MAXIMUM TRACT YIELD FOR EXISTING LOT 21 AND EXISTING LOT 15.
  - A DESIGN WAIVER IS REQUESTED FROM SECTION 13-526 FOR PROVIDING LOT(S) IN CONFORMANCE WITH THE RESOURCE CONSERVATION CALCULATIONS FOR MINIMUM LOT AREA FOR NEW LOT 21.04, REMAINING LOT 12, REMAINING LOT 15 AND NEW LOT 15.01.

**BEDMINSTER TOWNSHIP LAND USE BOARD APPROVALS**

CHAIR	DATE
SECRETARY	DATE
ENGINEER	DATE

**OWNER/APPLICANT:**  
BEDMINSTER FARMS  
C/O JIM DOWNS & LARRY PARAGONO  
222 RIDGEDALE AVENUE, 2ND FLOOR  
CEDAR KNOLLS, NJ 07927  
(973) 455-1057

**ATTORNEY:**  
MICHAEL LAVERY,  
LAVERY, SELVAGGI, ABRONITIS, & COHEN, P.C.  
1001 ROUTE 517  
HACKETTSTOWN, NJ, 07840  
(908) 352-2600

**TRACT INFORMATION:**  
LOT 12, 15, 21 BLOCK 39  
TOTAL TRACT AREA: 114.036 AC. (4,967,374 S.F.)

LOT 12, 15, 21 BLOCK 39  
TOTAL TRACT AREA: 114.036 AC. (4,967,374 S.F.)  
TOWNSHIP OF BEDMINSTER  
SOMERSET COUNTY, NEW JERSEY  
TAX MAP SHEET: 9  
ZONE: R-10 (RURAL RESIDENTIAL)

**GLADSTONE DESIGN, Inc.**  
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Land Surveyors  
Landscape Architects  
Land Planners

265 Main Street, P.O. Box 400  
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**Ronald A. Kennedy, P.E.**  
NJ PROFESSIONAL ENGINEER  
LICENSE NO. 24GE03345300

PROJECT

**BEDMINSTER FARMS**

BLOCK 39  
LOTS 12, 15 & 21

BEDMINSTER TOWNSHIP  
SOMERSET COUNTY  
NEW JERSEY

SHEET TITLE

PRELIMINARY AND FINAL  
MAJOR SUBDIVISION PLANS

**PROJECT DATA/VICINITY PLAN**

DATE: JANUARY 15, 2020

SCALE: AS NOTED      JOB NO.: 984-03

DRAWN: JAG      SHEET NO.: 1 OF 14

CHKD.: MDD

# PRELIMINARY AND FINAL MAJOR SUBDIVISION PLANS

THESE PLANS ARE NOT ACCEPTED FOR CONSTRUCTION UNLESS THIS BLOCK IS STAMPED AND SIGNED BY A STAFF MEMBER OF THE SOMERSET COUNTY ENGINEERING DIVISION. ACCEPTANCE OF THESE PLANS EXPIRES TWO (2) YEARS FROM THE STAMPED DATE.

REVISIONS		
NO.	DATE	DESCRIPTION
1.	6/29/20	REV. PER TWP. ENGINEER PLANNER REVIEW LETTERS
2.	8/3/20	REV. LOT CONFIGURATION



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NJ Certificate of Authorization  
 No. 24GA28034400

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 Kurt T. Hanis, P.L.S.  
 Robert C. Morris  
 Robert C. Moschella, P.E.

*Ronald A. Kennedy*  
**RONALD A. KENNEDY, P.E.**  
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 LICENSE NO. 24GE03345300

PROJECT  
**BEDMINSTER FARMS**  
 BLOCK 39  
 LOTS 12, 15 & 21  
 BEDMINSTER TOWNSHIP  
 SOMERSET COUNTY  
 NEW JERSEY

SHEET TITLE  
 PRELIMINARY AND FINAL  
 MAJOR SUBDIVISION PLANS  
**EXISTING CONDITIONS  
 & ENVIRONMENTAL  
 CONSTRAINTS PLAN**

DATE	JANUARY 15, 2020
SCALE	1" = 100'
DRAWN	JAG
CHKD.	MDD
JOB NO.	984-03
SHEET NO.	2 OF 14

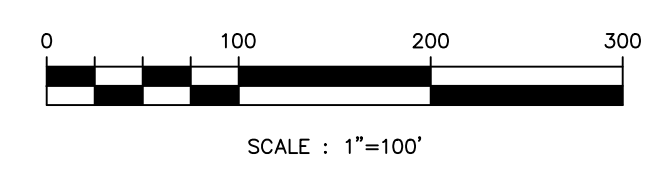
**SLOPE LEGEND**

SLOPE	CATEGORY
0.00% TO 14.99%	
15.00% TO 24.99%	
25.00% AND GREATER	

**SOIL SURVEY LEGEND**

SOIL SYMBOL	SOIL NAME
BhnC	BIRDSBORO SILT LOAM, 2% TO 6% SLOPES
BoyAt	BOWMANVILLE SILT LOAM, 0% TO 2% SLOPES, FREQUENTLY FLOODED
KkoC	KLINESVILLE CHANNERY LOAM, 6% TO 12% SLOPES
KkoD	KLINESVILLE CHANNERY LOAM, 12% TO 18% SLOPES
KkoE	KLINESVILLE CHANNERY LOAM, 18% TO 35% SLOPES
LbtB	LANDSDOWNE SILT LOAM, 2% TO 6% SLOPES
NetB	NORTON LOAM, 2% TO 6% SLOPES
NetC	NORTON LOAM, 6% TO 12% SLOPES
NetC2	NORTON LOAM, 6% TO 12% SLOPES, ERODED
PenB	PENN SILT LOAM, 2% TO 6% SLOPES
PenC	PENN SILT LOAM, 6% TO 12% SLOPES
PeoC	PENN CHANNERY SILT LOAM, 6% TO 12% SLOPES
RorAr	RARITAN SILT LOAM, 0% TO 3% SLOPES, RARELY FLOODED
RehB	REAVILLE SILT LOAM, 2% TO 6% SLOPES
RorAt	ROWLAND SILT LOAM, 0% TO 2% SLOPES, FREQUENTLY FLOODED

- GENERAL NOTES:**
- THIS MAP WAS PREPARED IN ACCORDANCE WITH THE FOLLOWING:
    - MAP ENTITLED "BOUNDARY SURVEY OF PROPERTY, TAX LOTS 12, 15, 19, & 21 - BLOCK 39, 1120 & 1310 LAMINGTON ROAD, TOWNSHIP OF BEDMINSTER, SOMERSET COUNTY, NEW JERSEY," DATED APRIL 22, 2019, PREPARED BY LAKELAND SURVEYING.
    - MAP ENTITLED "BOUNDARY, TOPOGRAPHIC AND WETLANDS SURVEY PLAN, 1120 LAMINGTON ROAD, LOT 15 BLOCK 39, TOWNSHIP OF BEDMINSTER, SOMERSET COUNTY, NEW JERSEY," DATED MAY 03, 2017 AND LAST REVISED OCTOBER 18, 2017, PREPARED BY GLADSTONE DESIGN, INC.



**SLOPE LEGEND**

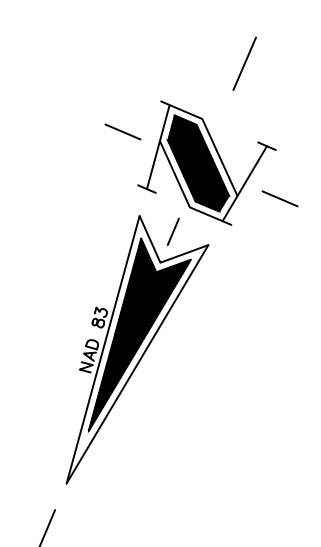
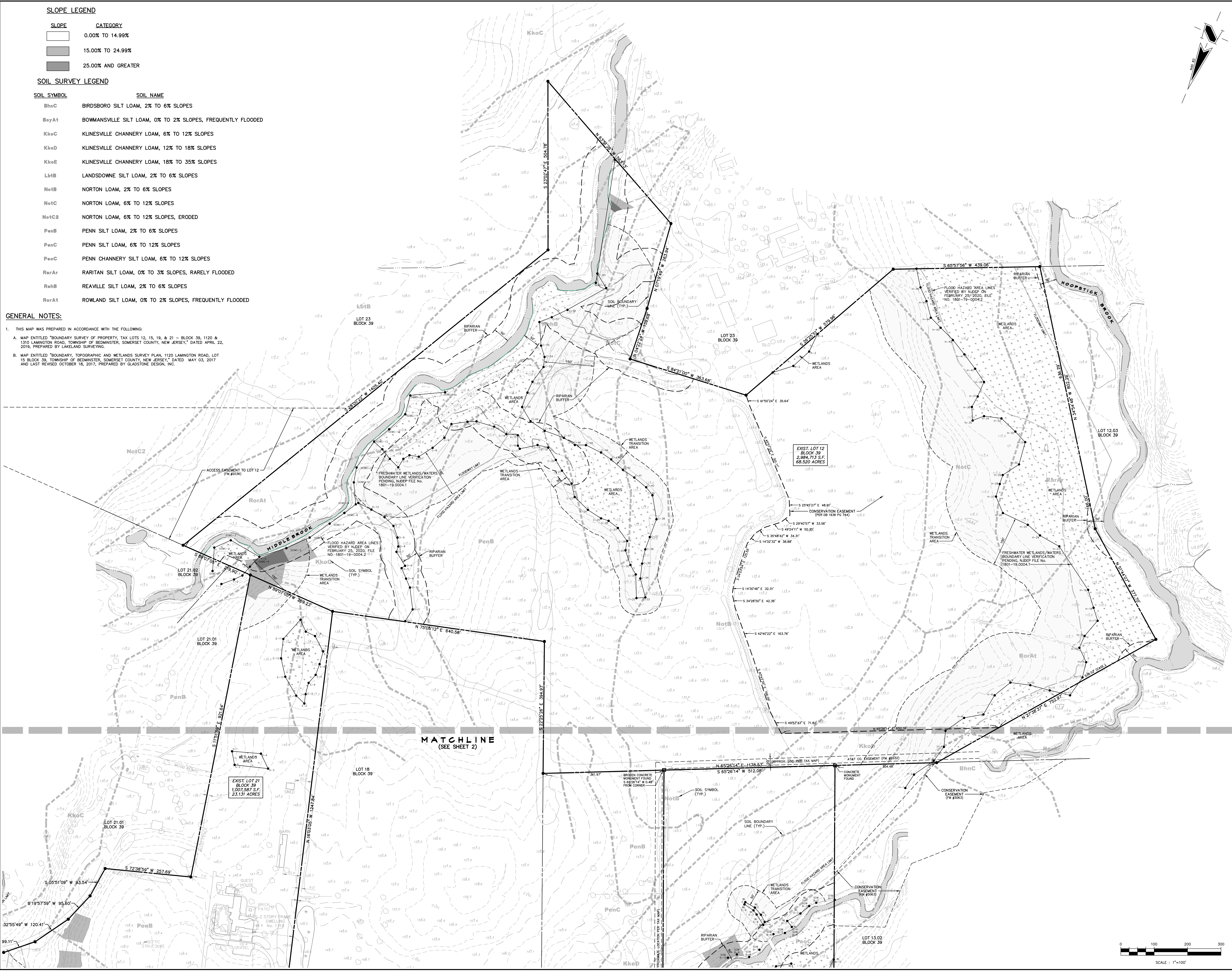
SLOPE	CATEGORY
	0.00% TO 14.99%
	15.00% TO 24.99%
	25.00% AND GREATER

**SOIL SURVEY LEGEND**

SOIL SYMBOL	SOIL NAME
BhnC	BIRDSBORO SILT LOAM, 2% TO 6% SLOPES
BoyAt	BOWMANVILLE SILT LOAM, 0% TO 2% SLOPES, FREQUENTLY FLOODED
KkoC	KLINESVILLE CHANNERY LOAM, 6% TO 12% SLOPES
KkoD	KLINESVILLE CHANNERY LOAM, 12% TO 18% SLOPES
KkoE	KLINESVILLE CHANNERY LOAM, 18% TO 35% SLOPES
LbtB	LANDSDOWNE SILT LOAM, 2% TO 6% SLOPES
NetB	NORTON LOAM, 2% TO 6% SLOPES
NotC	NORTON LOAM, 6% TO 12% SLOPES
NotC2	NORTON LOAM, 6% TO 12% SLOPES, ERODED
PenB	PENN SILT LOAM, 2% TO 6% SLOPES
PenC	PENN SILT LOAM, 6% TO 12% SLOPES
PenC	PENN CHANNERY SILT LOAM, 6% TO 12% SLOPES
RarAr	RARITAN SILT LOAM, 0% TO 3% SLOPES, RARELY FLOODED
RehB	REAVILLE SILT LOAM, 2% TO 6% SLOPES
RorAt	ROWLAND SILT LOAM, 0% TO 2% SLOPES, FREQUENTLY FLOODED

**GENERAL NOTES:**

- THIS MAP WAS PREPARED IN ACCORDANCE WITH THE FOLLOWING:
  - MAP ENTITLED "BOUNDARY SURVEY OF PROPERTY, TAX LOTS 12, 15, 19, & 21 - BLOCK 39, 1120 & 1310 LANINGTON ROAD, TOWNSHIP OF BEDMINSTER, SOMERSET COUNTY, NEW JERSEY," DATED APRIL 22, 2019, PREPARED BY LAKELAND SURVEYING.
  - MAP ENTITLED "BOUNDARY, TOPOGRAPHIC AND WETLANDS SURVEY PLAN, 1120 LANINGTON ROAD, LOT 15 BLOCK 39, TOWNSHIP OF BEDMINSTER, SOMERSET COUNTY, NEW JERSEY," DATED MAY 03, 2017 AND LAST REVISED OCTOBER 18, 2017, PREPARED BY GLADSTONE DESIGN, INC.



REVISIONS		
NO.	DATE	DESCRIPTION
1.	6/26/20	REV. PER TWP. ENGINEER PLANNER REVIEW LETTERS
2.	8/3/20	REV. LOT CONFIGURATION



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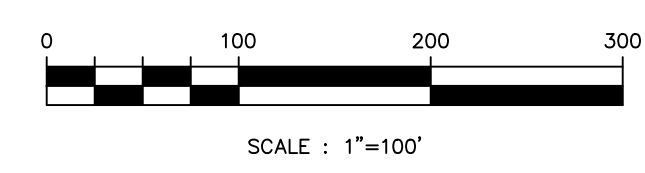
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*Ronald A. Kennedy*  
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 LICENSE NO. 24GE03345300

PROJECT  
**BEDMINSTER FARMS**  
 BLOCK 39  
 LOTS 12, 15 & 21  
 BEDMINSTER TOWNSHIP  
 SOMERSET COUNTY  
 NEW JERSEY

SHEET TITLE  
 PRELIMINARY AND FINAL  
 MAJOR SUBDIVISION PLANS  
**EXISTING CONDITIONS  
 & ENVIRONMENTAL  
 CONSTRAINTS PLAN**

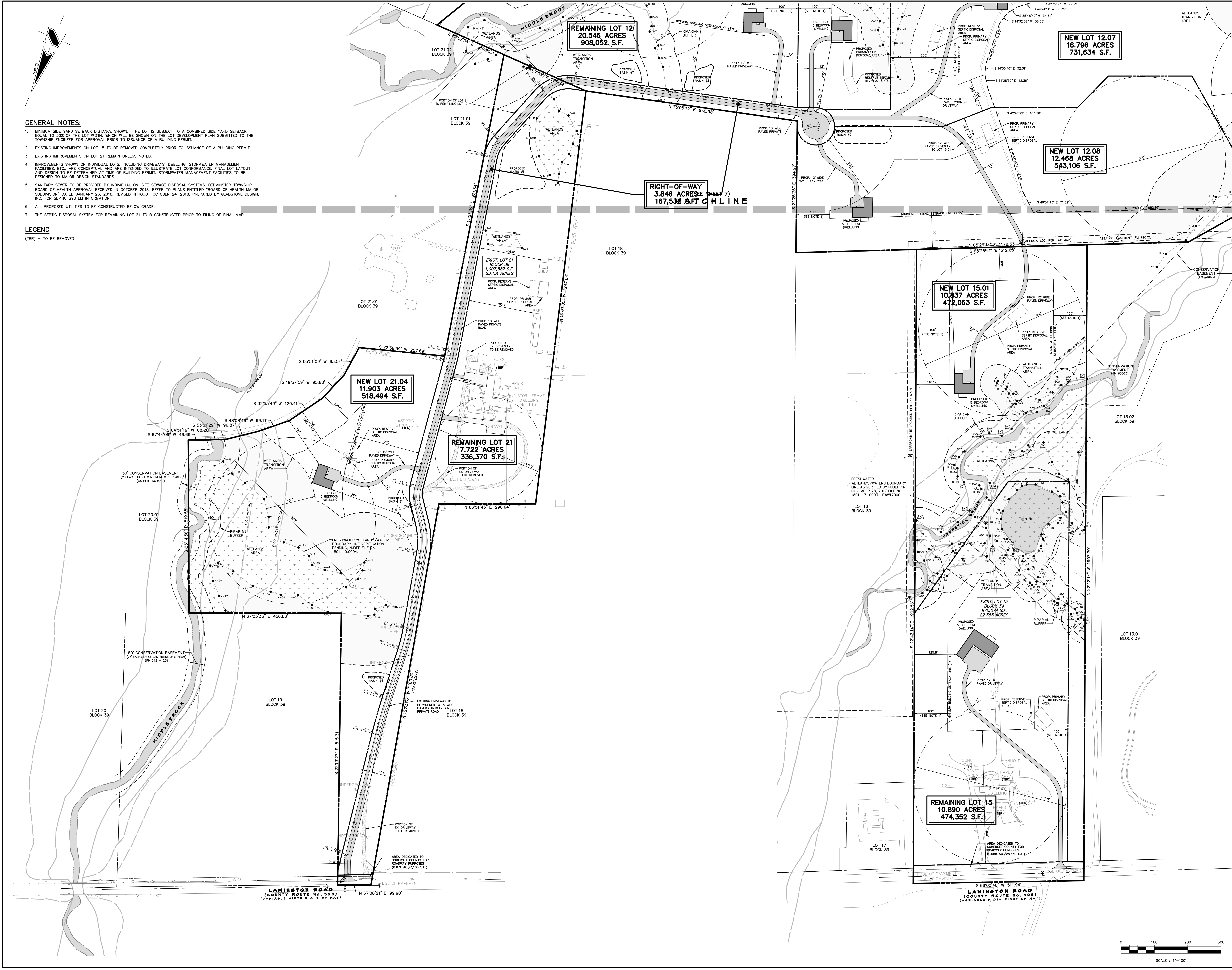
DATE	JANUARY 15, 2020
SCALE	1" = 100'
JOB NO.	984-03
DRAWN	JAG
SHEET NO.	3 OF 14
CHKD.	MDD



- GENERAL NOTES:**
- MINIMUM SIDE YARD SETBACK DISTANCE SHOWN. THE LOT IS SUBJECT TO A COMBINED SIDE YARD SETBACK EQUAL TO 50% OF THE LOT WIDTH, WHICH WILL BE SHOWN ON THE LOT DEVELOPMENT PLAN SUBMITTED TO THE TOWNSHIP ENGINEER FOR APPROVAL PRIOR TO ISSUANCE OF A BUILDING PERMIT.
  - EXISTING IMPROVEMENTS ON LOT 15 TO BE REMOVED COMPLETELY PRIOR TO ISSUANCE OF A BUILDING PERMIT.
  - EXISTING IMPROVEMENTS ON LOT 21 REMAIN UNLESS NOTED.
  - IMPROVEMENTS SHOWN ON INDIVIDUAL LOTS, INCLUDING DRIVEWAYS, DWELLING, STORMWATER MANAGEMENT FACILITIES, ETC., ARE CONCEPTUAL AND ARE INTENDED TO ILLUSTRATE LOT PERFORMANCE. FINAL LOT LAYOUT AND DESIGN TO BE DETERMINED AT TIME OF BUILDING PERMIT. STORMWATER MANAGEMENT FACILITIES TO BE DESIGNED TO MAJOR DESIGN STANDARDS.
  - SANITARY SEWER TO BE PROVIDED BY INDIVIDUAL ON-SITE SEWAGE DISPOSAL SYSTEMS. BEDMINSTER TOWNSHIP BOARD OF HEALTH APPROVAL RECEIVED IN OCTOBER 2018. REFER TO PLANS ENTITLED "BOARD OF HEALTH MAJOR SUBDIVISION" DATED JANUARY 26, 2018, REVISED THROUGH OCTOBER 24, 2018, PREPARED BY GLADSTONE DESIGN, INC. FOR SEPTIC SYSTEM INFORMATION.
  - ALL PROPOSED UTILITIES TO BE CONSTRUCTED BELOW GRADE.
  - THE SEPTIC DISPOSAL SYSTEM FOR REMAINING LOT 21 TO BE CONSTRUCTED PRIOR TO FILING OF FINAL MAP.

**LEGEND**  
(TBR) = TO BE REMOVED

REVISIONS	
NO.	DESCRIPTION
1.	6/29/20 REV. PER TWP. ENGINEER PLANNER REVIEW LETTERS
2.	8/3/20 REV. LOT CONFIGURATION



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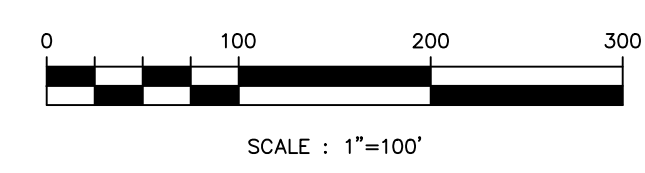
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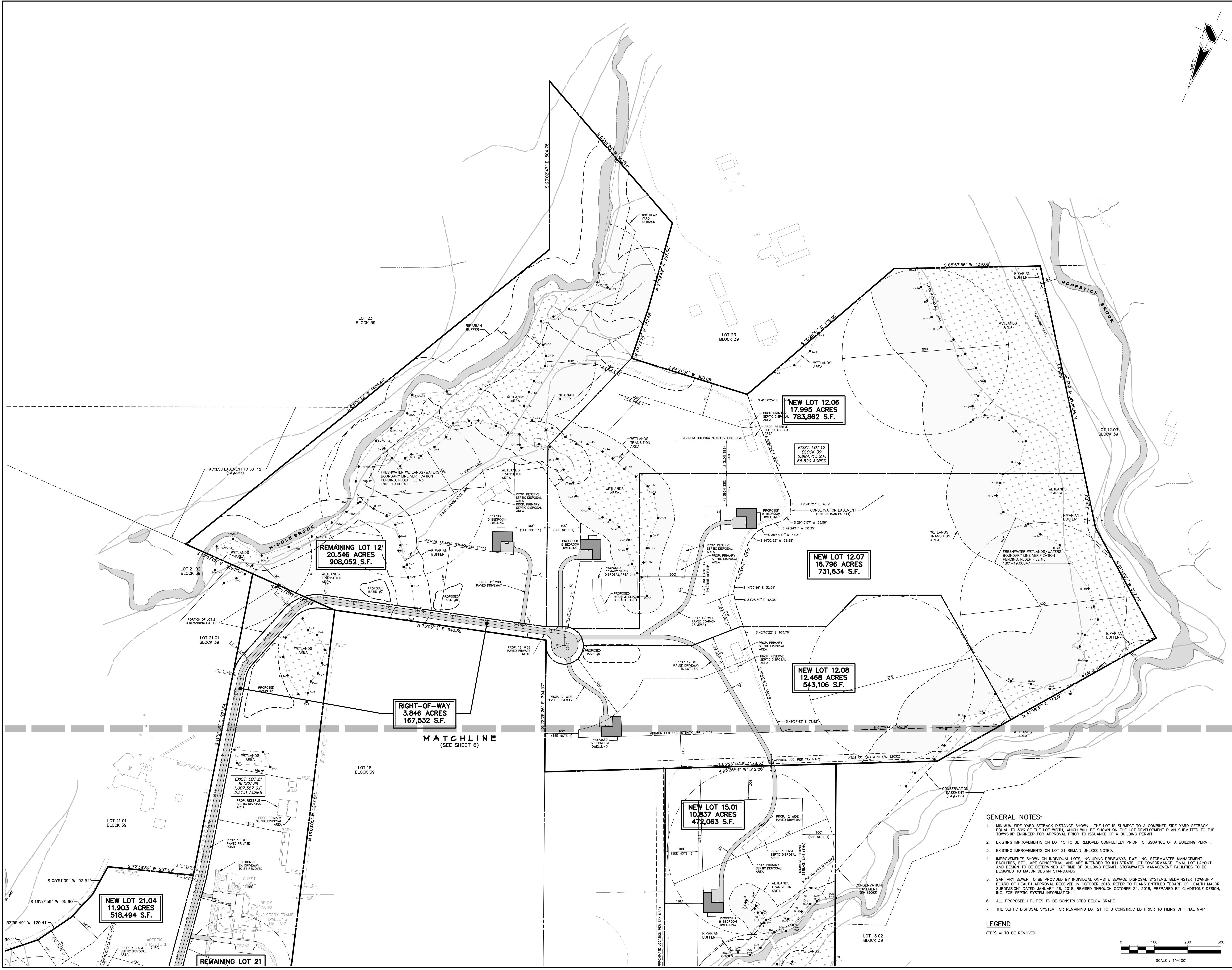
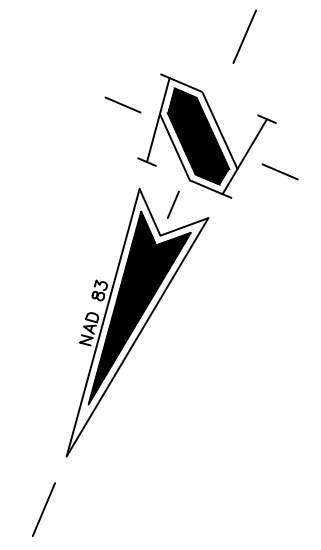
PROJECT  
**BEDMINSTER FARMS**  
BLOCK 39  
LOTS 12, 15 & 21  
BEDMINSTER TOWNSHIP  
SOMERSET COUNTY  
NEW JERSEY

SHEET TITLE  
PRELIMINARY AND FINAL  
MAJOR SUBDIVISION PLANS  
**SITE DIMENSION PLAN**  
(PREFERRED LAYOUT)

DATE	JANUARY 15, 2020	
SCALE	1" = 100'	JOB NO. 984-03
DRAWN	JAG	SHEET NO. 6 OF 14
CHKD.	MDD	



REVISIONS		
NO.	DATE	DESCRIPTION
1.	6/29/20	REV. PER TWP. ENGINEER PLANNER REVIEW LETTERS
2.	8/3/20	REV. LOT CONFIGURATION



**NEW LOT 12.06**  
17.995 ACRES  
783,862 S.F.

**EXIST. LOT 12**  
BLOCK 39  
2,984,713 S.F.  
68,520 ACRES

**REMAINING LOT 12/**  
20.546 ACRES  
908,052 S.F.

**NEW LOT 12.07**  
16.796 ACRES  
731,634 S.F.

**NEW LOT 12.08**  
12.468 ACRES  
543,106 S.F.

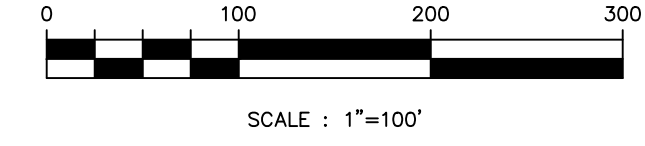
**RIGHT-OF-WAY**  
3.846 ACRES  
167,532 S.F.

**NEW LOT 15.01**  
10.837 ACRES  
472,063 S.F.

**NEW LOT 21.04**  
11.903 ACRES  
518,494 S.F.

- GENERAL NOTES:**
- MINIMUM SIDE YARD SETBACK DISTANCE SHOWN. THE LOT IS SUBJECT TO A COMBINED SIDE YARD SETBACK EQUAL TO 50% OF THE LOT WIDTH, WHICH WILL BE SHOWN ON THE LOT DEVELOPMENT PLAN SUBMITTED TO THE TOWNSHIP ENGINEER FOR APPROVAL PRIOR TO ISSUANCE OF A BUILDING PERMIT.
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  - ALL PROPOSED UTILITIES TO BE CONSTRUCTED BELOW GRADE.
  - THE SEPTIC DISPOSAL SYSTEM FOR REMAINING LOT 21 TO BE CONSTRUCTED PRIOR TO FILING OF FINAL MAP.

**LEGEND**  
(TKR) = TO BE REMOVED



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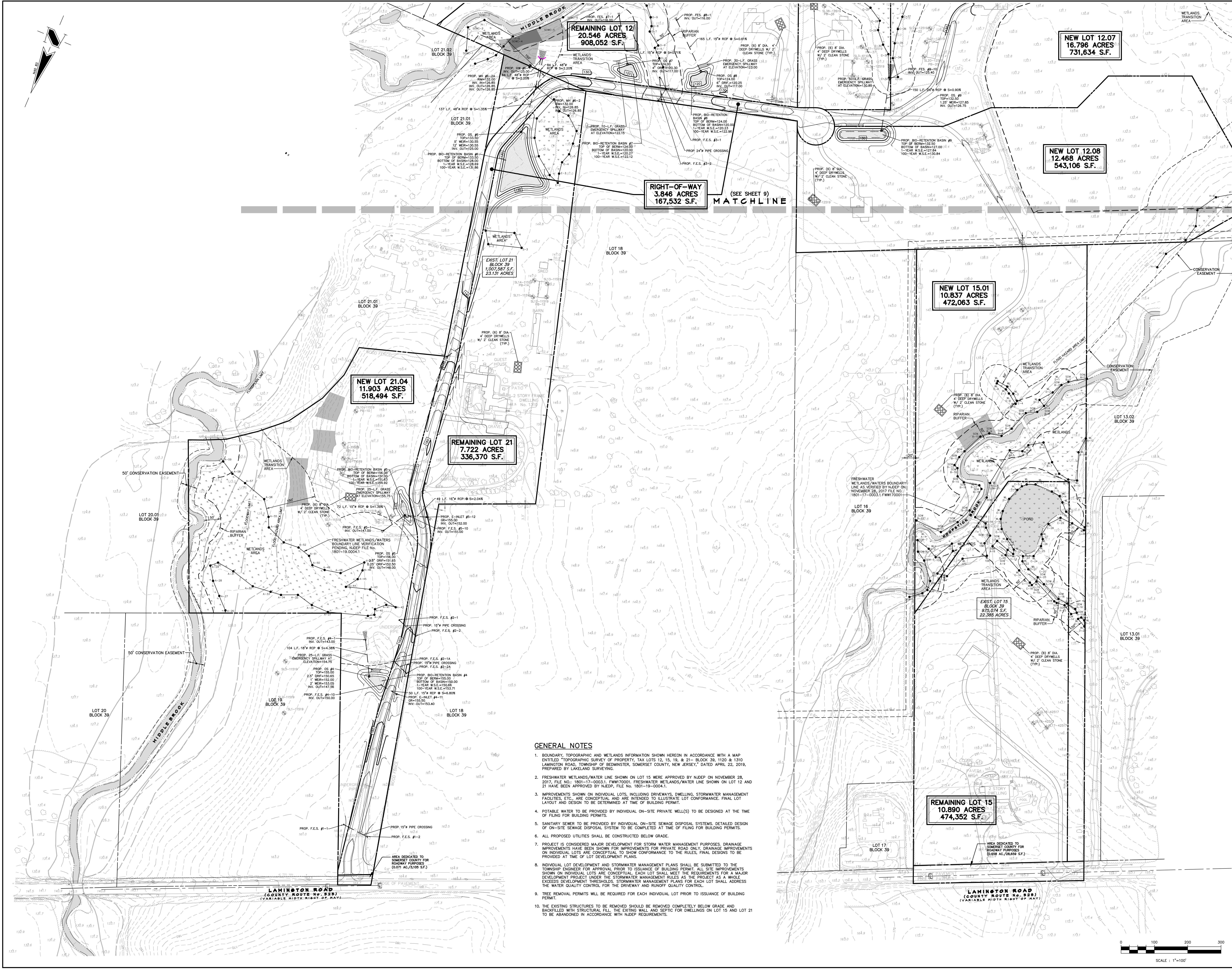
**PROJECT**  
**BEDMINSTER FARMS**  
BLOCK 39  
LOTS 12, 15 & 21  
BEDMINSTER TOWNSHIP  
SOMERSET COUNTY  
NEW JERSEY

**SHEET TITLE**  
PRELIMINARY AND FINAL  
MAJOR SUBDIVISION PLANS

**SITE DIMENSION PLAN**  
(PREFERRED LAYOUT)

DATE	JANUARY 15, 2020
SCALE	1" = 100'
JOB NO.	984-03
DRAWN	JAG
SHEET NO.	7 OF 14
CHKD.	MDD





REVISIONS		
NO.	DATE	DESCRIPTION
1.	6/29/20	REV. PER TWP. ENGINEER PLANNER REVIEW LETTERS
2.	8/3/20	REV. LOT CONFIGURATION

REVISIONS		
NO.	DATE	DESCRIPTION
1.	6/29/20	REV. PER TWP. ENGINEER PLANNER REVIEW LETTERS
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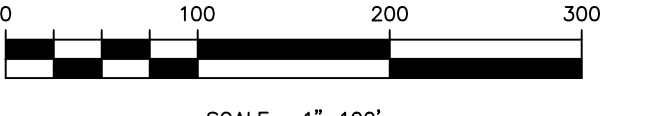
PROJECT  
**BEDMINSTER FARMS**  
 BLOCK 39  
 LOTS 12, 15 & 21  
 BEDMINSTER TOWNSHIP  
 SOMERSET COUNTY  
 NEW JERSEY

SHEET TITLE  
 PRELIMINARY AND FINAL  
 MAJOR SUBDIVISION PLANS  
**GRADING, DRAINAGE  
 & UTILITY PLAN**

DATE  
 JANUARY 15, 2020  
 SCALE  
 1" = 100'  
 JOB NO.  
 984-03  
 DRAWN  
 JAG  
 SHEET NO.  
 8 OF 14  
 CHKD.  
 MDD

**GENERAL NOTES**

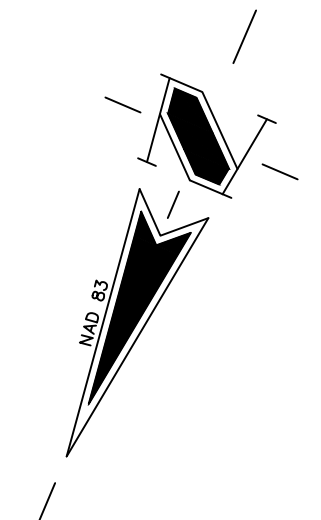
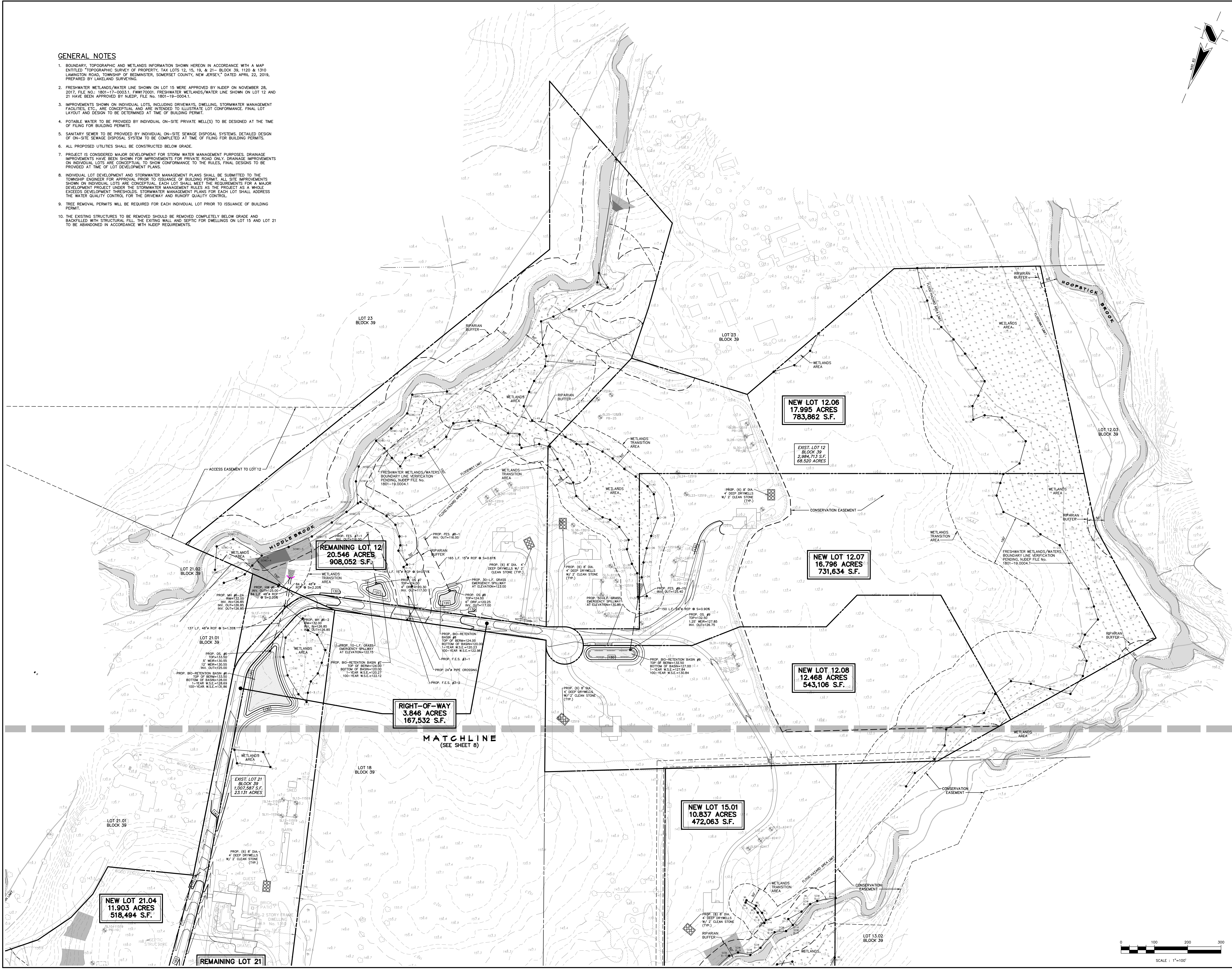
- BOUNDARY, TOPOGRAPHIC AND WETLANDS INFORMATION SHOWN HEREON IN ACCORDANCE WITH A MAP ENTITLED "TOPOGRAPHIC SURVEY OF PROPERTY, TAX LOTS 12, 15, 19, & 21 - BLOCK 39, 1120 & 1310 LAMINGTON ROAD, TOWNSHIP OF BEDMINSTER, SOMERSET COUNTY, NEW JERSEY," DATED APRIL 22, 2019, PREPARED BY LAKELAND SURVEYING.
- FRESHWATER WETLANDS/WATER LINE SHOWN ON LOT 15 WAS VERIFIED BY NJDEP ON NOVEMBER 28, 2017, FILE NO.: 1801-17-0003.1.FW170001. FRESHWATER WETLANDS/WATER LINE SHOWN ON LOT 12 AND 21 HAVE BEEN APPROVED BY NJDEP, FILE NO. 1801-19-0004.1.
- IMPROVEMENTS SHOWN ON INDIVIDUAL LOTS, INCLUDING DRIVEWAYS, DWELLING, STORMWATER MANAGEMENT FACILITIES, ETC., ARE CONCEPTUAL AND ARE INTENDED TO ILLUSTRATE LOT CONFORMANCE. FINAL LAYOUT AND DESIGN TO BE DETERMINED AT TIME OF BUILDING PERMIT.
- POTABLE WATER TO BE PROVIDED BY INDIVIDUAL ON-SITE PRIVATE WELL(S) TO BE DESIGNED AT THE TIME OF FILING FOR BUILDING PERMITS.
- SANITARY SEWER TO BE PROVIDED BY INDIVIDUAL ON-SITE SEWAGE DISPOSAL SYSTEMS. DETAILED DESIGN OF ON-SITE SEWAGE DISPOSAL SYSTEM TO BE COMPLETED AT TIME OF FILING FOR BUILDING PERMITS.
- ALL PROPOSED UTILITIES SHALL BE CONSTRUCTED BELOW GRADE.
- PROJECT IS CONSIDERED MAJOR DEVELOPMENT FOR STORM WATER MANAGEMENT PURPOSES. DRAINAGE IMPROVEMENTS HAVE BEEN SHOWN FOR IMPROVEMENTS FOR PRIVATE ROAD ONLY. DRAINAGE IMPROVEMENTS ON INDIVIDUAL LOTS ARE CONCEPTUAL TO SHOW CONFORMANCE TO THE RULES. FINAL DESIGNS TO BE PROVIDED AT TIME OF LOT DEVELOPMENT PLANS.
- INDIVIDUAL LOT DEVELOPMENT AND STORMWATER MANAGEMENT PLANS SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER FOR APPROVAL PRIOR TO ISSUANCE OF BUILDING PERMIT. ALL SITE IMPROVEMENTS SHOWN ON INDIVIDUAL LOTS ARE CONCEPTUAL. EACH LOT SHALL MEET THE REQUIREMENTS FOR A MAJOR DEVELOPMENT PROJECT UNDER THE STORMWATER MANAGEMENT RULES AS THE PROJECT AS A WHOLE EXCEEDS DEVELOPMENT THRESHOLDS. STORMWATER MANAGEMENT PLANS FOR EACH LOT SHALL ADDRESS THE WATER QUALITY CONTROL FOR THE DRIVEWAY AND RUNOFF QUALITY CONTROL.
- TREE REMOVAL PERMITS WILL BE REQUIRED FOR EACH INDIVIDUAL LOT PRIOR TO ISSUANCE OF BUILDING PERMIT.
- THE EXISTING STRUCTURES TO BE REMOVED SHOULD BE REMOVED COMPLETELY BELOW GRADE AND BACKFILLED WITH STRUCTURAL FILL. THE EXISTING WALL AND SEPTIC FOR DWELLINGS ON LOT 15 AND LOT 21 TO BE ABANDONED IN ACCORDANCE WITH NJDEP REQUIREMENTS.



SCALE: 1"=100'

**GENERAL NOTES**

- BOUNDARY, TOPOGRAPHIC AND WETLANDS INFORMATION SHOWN HEREON IN ACCORDANCE WITH A MAP ENTITLED "TOPOGRAPHIC SURVEY OF PROPERTY, TAX LOTS 12, 15, 19, & 21- BLOCK 39, 1120 & 1310 LANNINGTON ROAD, TOWNSHIP OF BEDMINSTER, SOMERSET COUNTY, NEW JERSEY," DATED APRIL 22, 2019, PREPARED BY LAKELAND SURVEYING.
- FRESHWATER WETLANDS/WATER LINE SHOWN ON LOT 15 WERE APPROVED BY NJDEP ON NOVEMBER 28, 2017, FILE NO. 1801-17-00031. FRESHWATER WETLANDS/WATER LINE SHOWN ON LOT 12 AND 21 HAVE BEEN APPROVED BY NJDEP, FILE NO. 1801-19-00041.
- IMPROVEMENTS SHOWN ON INDIVIDUAL LOTS, INCLUDING DRIVEWAYS, DWELLING, STORMWATER MANAGEMENT FACILITIES, ETC., ARE CONCEPTUAL AND ARE INTENDED TO ILLUSTRATE LOT CONFORMANCE. FINAL LOT LAYOUT AND DESIGN TO BE DETERMINED AT TIME OF BUILDING PERMIT.
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REVISIONS		
NO.	DATE	DESCRIPTION
1.	6/29/20	REV. PER TWP. ENGINEER PLANNER REVIEW LETTERS
2.	8/3/20	REV. LOT CONFIGURATION



**GLADSTONE DESIGN, Inc.**

Consulting Engineers  
 Land Surveyors  
 Landscape Architects  
 Land Planners

265 Main Street, P.O. Box 400  
 Gladstone, New Jersey 07934  
 T: (908) 234-0309  
 F: (908) 719-3320

NJ Certificate of Authorization  
 No. 24GA28034400

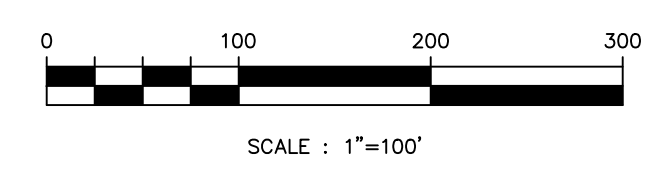
Ronald A. Kennedy, P.E., P.P., CME, LEED AP  
 Kurt T. Hanis, P.L.S.  
 Robert C. Morris  
 Robert C. Moschella, P.E.

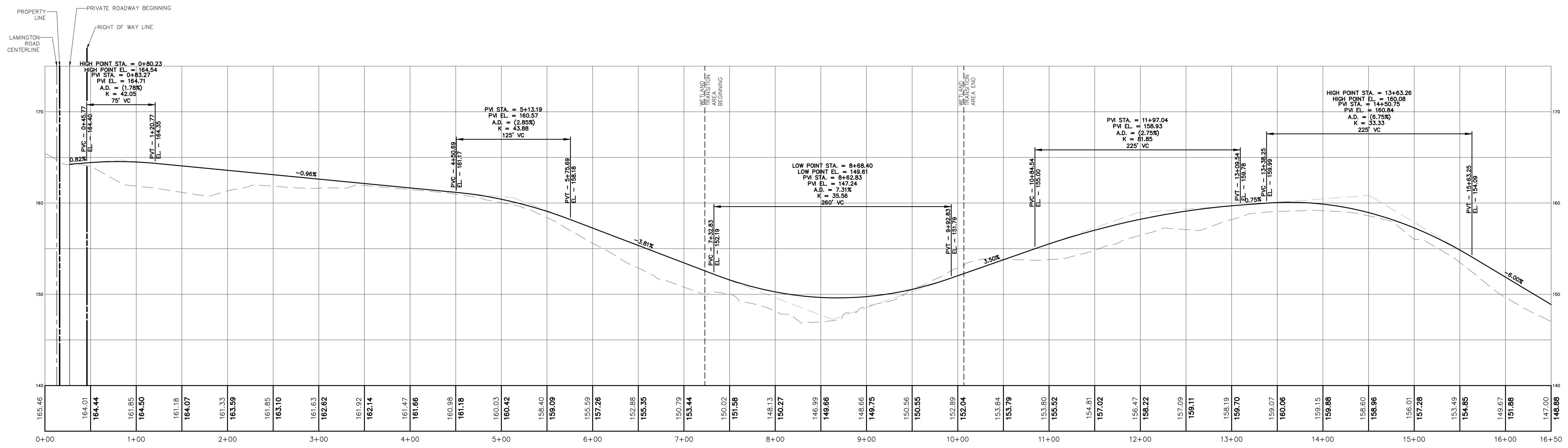
*Ronald A. Kennedy*  
**RONALD A. KENNEDY, P.E.**  
 NJ PROFESSIONAL ENGINEER  
 LICENSE NO. 24GE03345300

PROJECT  
**BEDMINSTER FARMS**  
 BLOCK 39  
 LOTS 12, 15 & 21  
 BEDMINSTER TOWNSHIP  
 SOMERSET COUNTY  
 NEW JERSEY

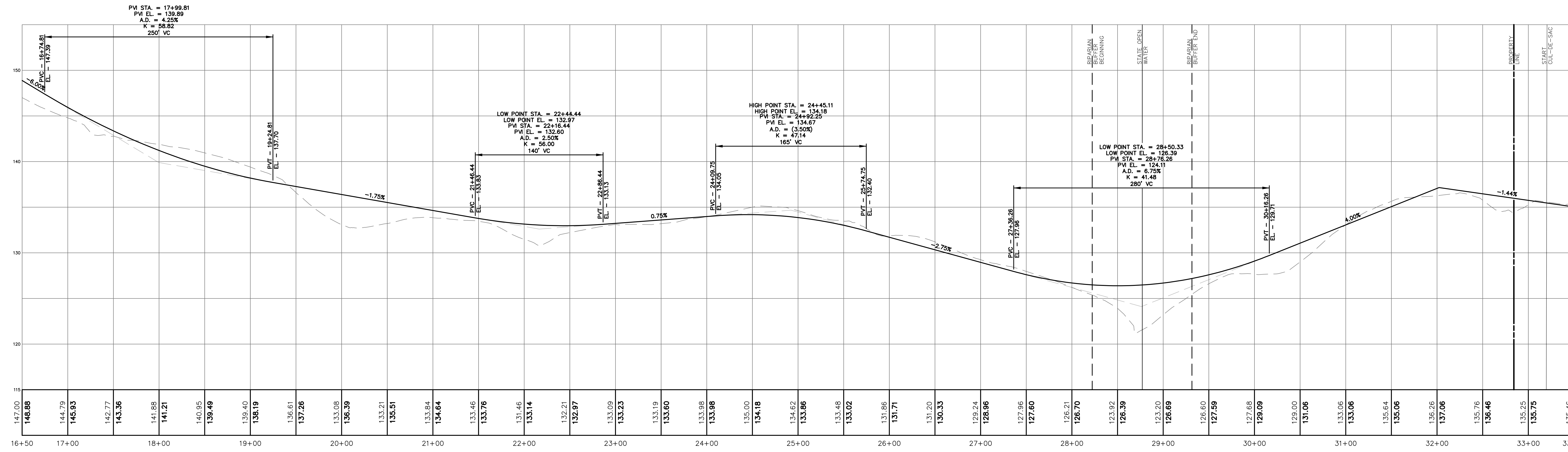
SHEET TITLE  
 PRELIMINARY AND FINAL  
 MAJOR SUBDIVISION PLANS  
**GRADING, DRAINAGE  
 & UTILITY PLAN**

DATE	JANUARY 15, 2020
SCALE	1" = 100'
JOB NO.	984-03
DRAWN	JAG
SHEET NO.	9 OF 14
CHKD.	MDD

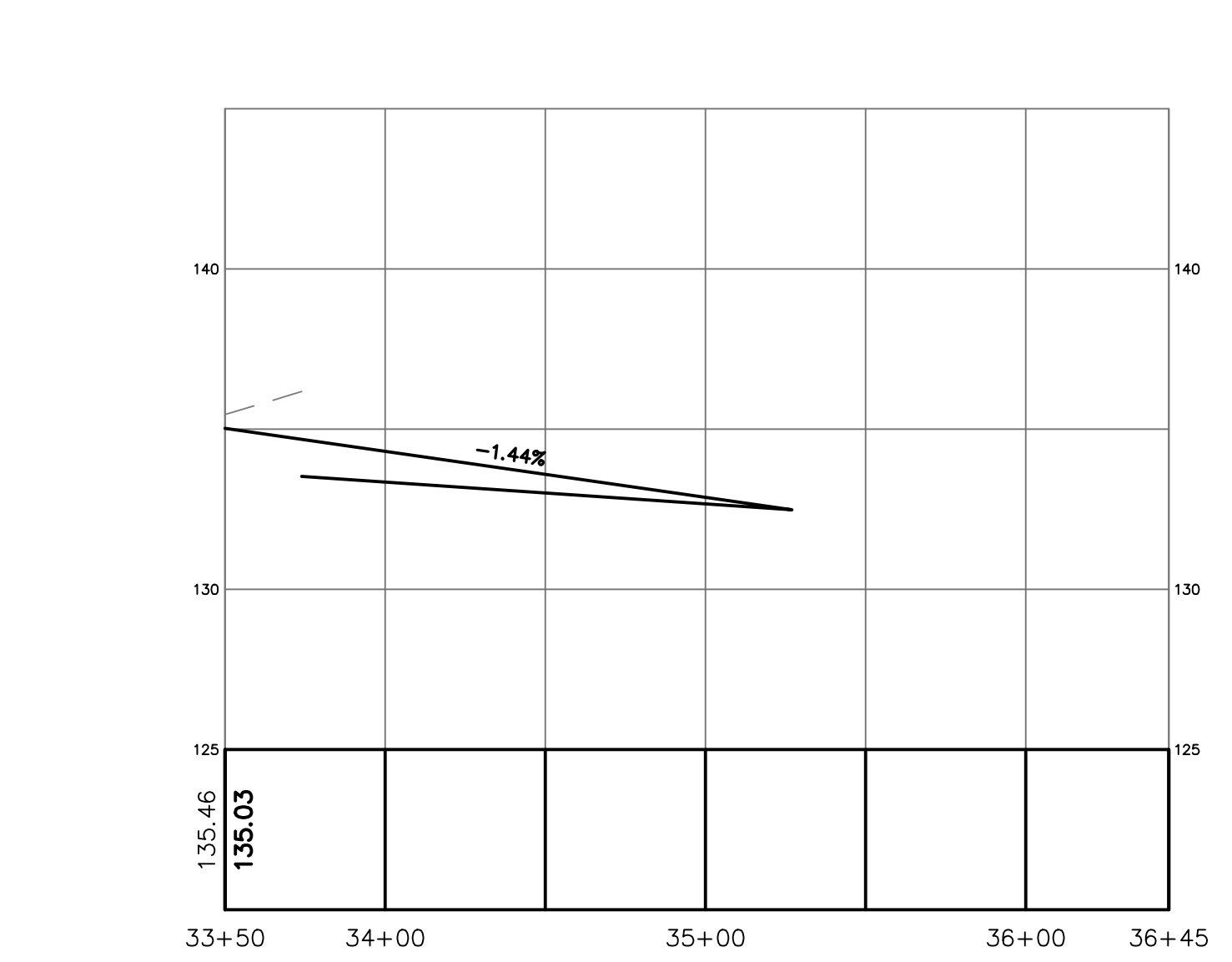




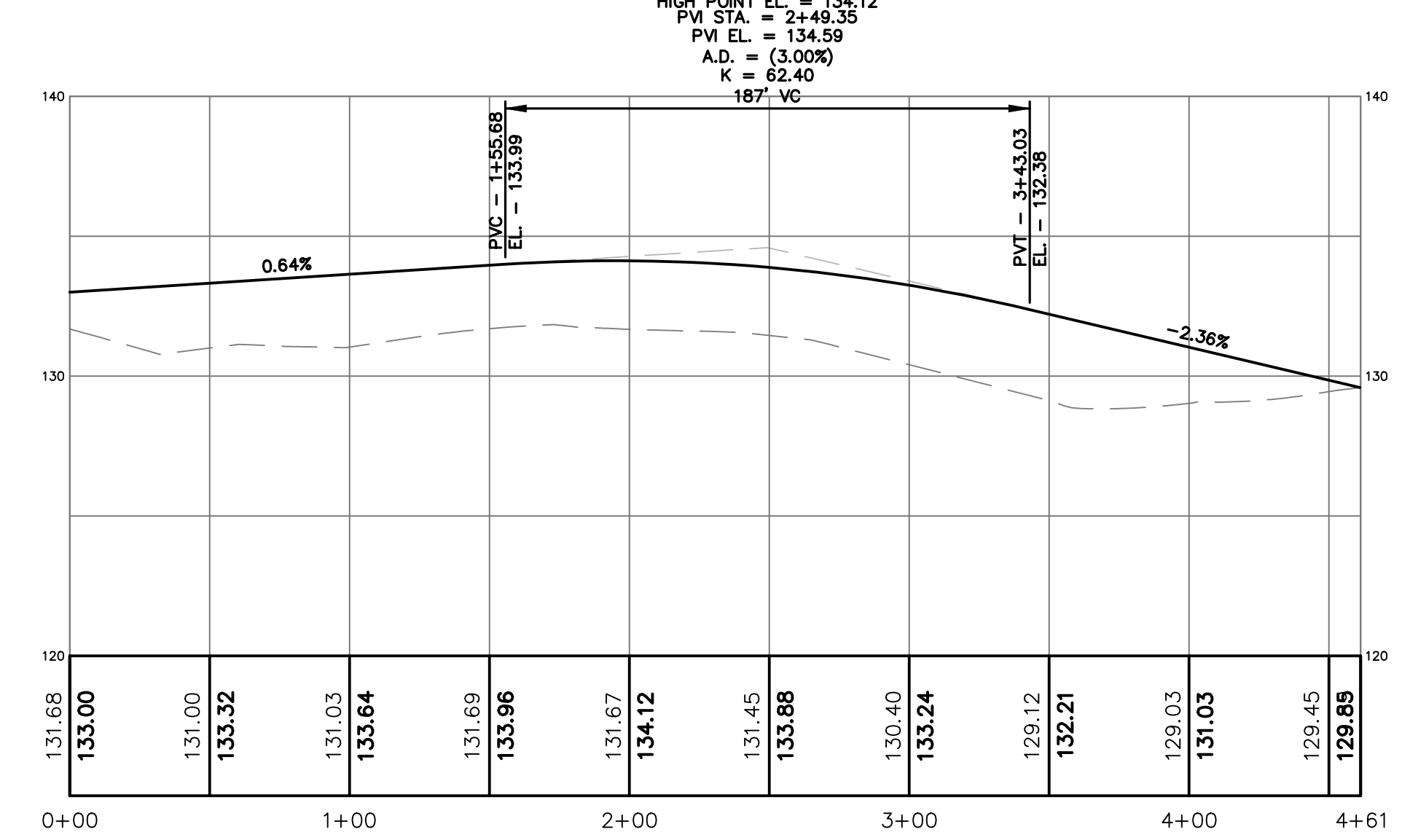
PRIVATE ROADWAY PROFILE (PREFERRED) - STA. 0+00 TO 16+50  
 SCALE: 1"=50' (HORIZONTAL)  
 1"=10' (VERTICAL)



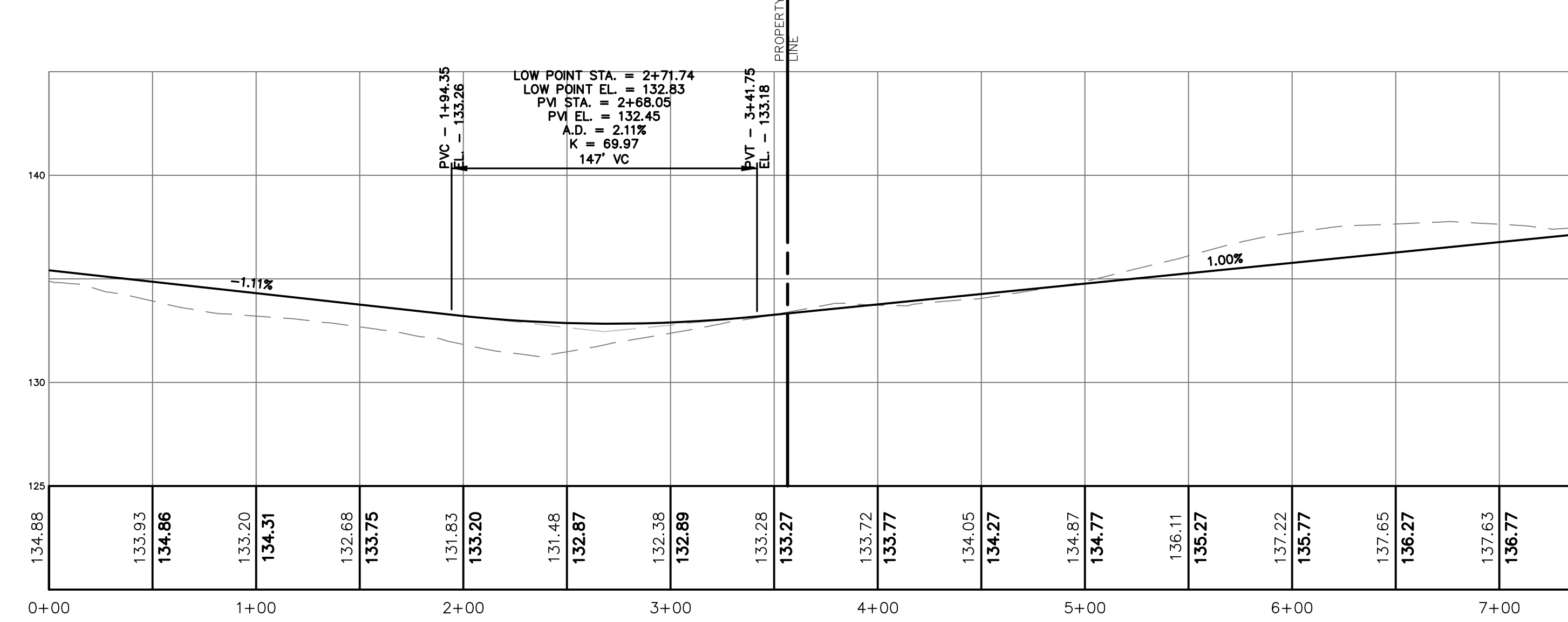
PRIVATE ROADWAY PROFILE (PREFERRED) - STA. 16+50 TO 33+50  
 SCALE: 1"=50' (HORIZONTAL)  
 1"=10' (VERTICAL)



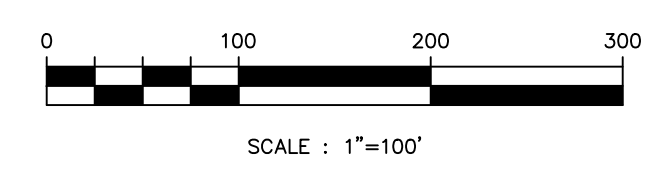
PRIVATE ROADWAY PROFILE (PREFERRED) - STA. 33+50 TO 36+45  
 SCALE: 1"=50' (HORIZONTAL)



DRIVEWAY FOR LOT 12.07 - STA. 0+00 TO 4+61  
 SCALE: 1"=50' (HORIZONTAL)



COMMON DRIVEWAY FOR LOTS 12.08 & 15.01 - STA. 0+00 TO 7+95  
 SCALE: 1"=50' (HORIZONTAL)



REVISIONS		
NO.	DATE	DESCRIPTION
1.	6/26/20	REV. PER TWP. ENGINEER PLANNER REVIEW LETTERS
2.	8/3/20	REV. LOT CONFIGURATION



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**RONALD A. KENNEDY, P.E.**  
 NJ PROFESSIONAL ENGINEER  
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PROJECT  
**BEDMINSTER FARMS**  
 BLOCK 39  
 LOTS 12, 15 & 21  
 BEDMINSTER TOWNSHIP  
 SOMERSET COUNTY  
 NEW JERSEY

SHEET TITLE  
 PRELIMINARY AND FINAL  
 MAJOR SUBDIVISION PLANS  
**DRIVEWAY PROFILES**  
 (PREFERRED LAYOUT)

DATE	JANUARY 15, 2020
SCALE	1" = 100'
DRAWN	JAG
CHKD.	MDD
JOB NO.	984-03
SHEET NO.	12 OF 14



Paul W. Ferriero, PE, PP, CME, LEED AP, CFM  
Robert C. Brightly, PE, PP, CME

Steven B. Bolio, PE, CME  
Mark S. Denisiuk, PE, CME, LEED AP  
Joseph S. Kosinski, PG, CFM, LEED AP  
C. Richard Quamme, PE, CME  
Jess H. Symonds, PE

February 15, 2020

Janine De Leon, Secretary  
Bedminster Township Land Use Board  
1 Miller Lane  
Bedminster, New Jersey 07921

Re: 1120/1310 Lamington Road LLC Major Subdivision  
Completeness Review  
Block 39, Lots 12, 15,21  
1120/1310 Lamington Road  
Our Project No. 20BD202

Dear Janine:

The above referenced application requests preliminary and final major subdivision and variance approval for lots 12, 15 and 21 in block 39 along Lamington Road. The proposal is to create a total of eight residential building lots. One of the parcels, lot 15, was the subject of a prior subdivision review before the Board however the conditions of the approval have never been satisfied. The following documents have been submitted in support of the application:

1. Cover letter, dated January 23, 2020, prepared by Michael Lavery, Esq.
2. Land Use Board Application, undated, prepared by Michael Lavery, Esq.
3. Checklist with waiver requests, undated and unsigned.
4. Ownership disclosure
5. Property deeds
6. Resource constraints calculations
7. Agricultural use acknowledgement
8. Environmental Review Scoping Checklist
9. Somerset County Planning Board application, dated January 24, 2020.
10. Subdivision Plans, consisting of 14 sheets, dated January 15, 2020, prepared by Ronald A. Kennedy, PE.
11. Stormwater Management Report, dated January 15, 2020, prepared by Ronald A. Kennedy, PE.
12. Boundary Survey, dated April 22, 2019, prepared by Marc J. Cifone, PLS.

A review of the above documents results in the following comments relative to the completeness of the application:

Checklist Item 3 – Ownership disclosure – The Board Attorney should determine if the disclosure is adequate since it list a trust entity as a 99% owner.

• • •

Re: 1120/1310 Lamington Road LLC Major Subdivision  
Completeness Review  
Block 39, Lots 12, 15,21  
1120/1310 Lamington Road  
Our Project No. 20BD202

Checklist Item 7 – Will serve letters from utilities – Not provided

Checklist Item 8 – Certification of completion of improvements – This office has no objection to a waiver.

Checklist Item 15 – Proposed easements, etc. – This office has no objection to the requested waiver.

Checklist Item 17 – Board of Health approval – The applicant has requested a waiver for completeness, however this should be provided.

Checklist Item 35 – Tree locations – A waiver has been requested. While a complete location survey may not be required, information should be provided with respect to the size, type and density of trees to be removed.

Checklist Item 37 – Stream cross sections – This office has no objection to the requested waiver.

Checklist Item 44 – Proposed easements – This office has no objection to the requested waiver.

Based on the above, the application is incomplete.

Very truly yours,

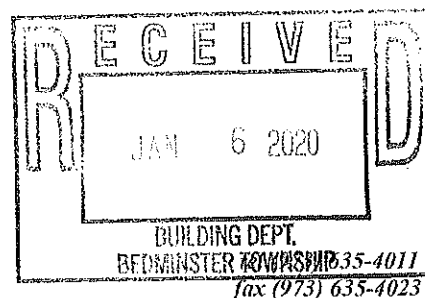


Paul W. Ferriero, PE, CME  
Township Engineer

cc: Board Members  
Thomas Collins, Esq.  
Frank Banisch, PP/AICP

**PK ENVIRONMENTAL**  
*Planning & Engineering*  
PO Box 1066, 205 Main Street  
Chatham, New Jersey 07928

*Sandra E. Kehrley, PE, CFM*  
*John P. Peel, PP*



## **PUBLIC NOTICE**

### **NJDEP Flood Hazard Area (FHA) Verification**

**TO:** Bedminster Township Clerk, Bedminster Township Construction Official, Bedminster Township Environmental Commission, Bedminster Township Planning Board, Somerset County Planning Board, and Property Owners Within 200-Feet of Block 39 Lots 12, 15, 19, and 21 in Bedminster Township

**DATE:** November 27, 2019

**RE:** NJDEP Flood Hazard Area (FHA) Verification  
Block 39 Lots 12, 15, 19, 21 (Lamington Road)  
Bedminster Township, Somerset County, NJ  
Applicant: The Downs Group

This letter provides you with legal notification that The Downs Group has submitted an application to the NJDEP Division of Land Use Regulation for a Flood Hazard Area (FHA) Verification for this property. An FHA Verification establishes the FHA design elevations under Method 3 (FEMA fluvial method), and the extent of the Floodway and FHA riparian zones on a subject property. Also enclosed is a reduced copy of the "NJ Flood Hazard Area (FHA) Verification Plan" prepared by Lakeland Surveying which depicts the existing property conditions, and the location of on-site State open waters (SOW), flood hazard area (FHA) limits, and riparian zone limits.

The complete NJDEP application package can be reviewed at either the Bedminster Township Clerk's office, or by appointment at the NJDEP's Trenton office, and the NJDEP welcomes comments and any information that you may provide concerning the property. If there are any comments or questions regarding the FHA Verification application, please submit your written comments to the address below, within 15-days of your receipt of this letter to ensure that the NJDEP will be able to consider your concerns during its review of this application. You can also obtain general information about the FHA program at the following website: [www.nj.gov/dep/landuse](http://www.nj.gov/dep/landuse)

**NJDEP Division of Land Use Regulation**  
Mail Code 501-02A, PO Box 420  
Trenton, NJ 08625-0420  
Attn: Somerset County Supervisor

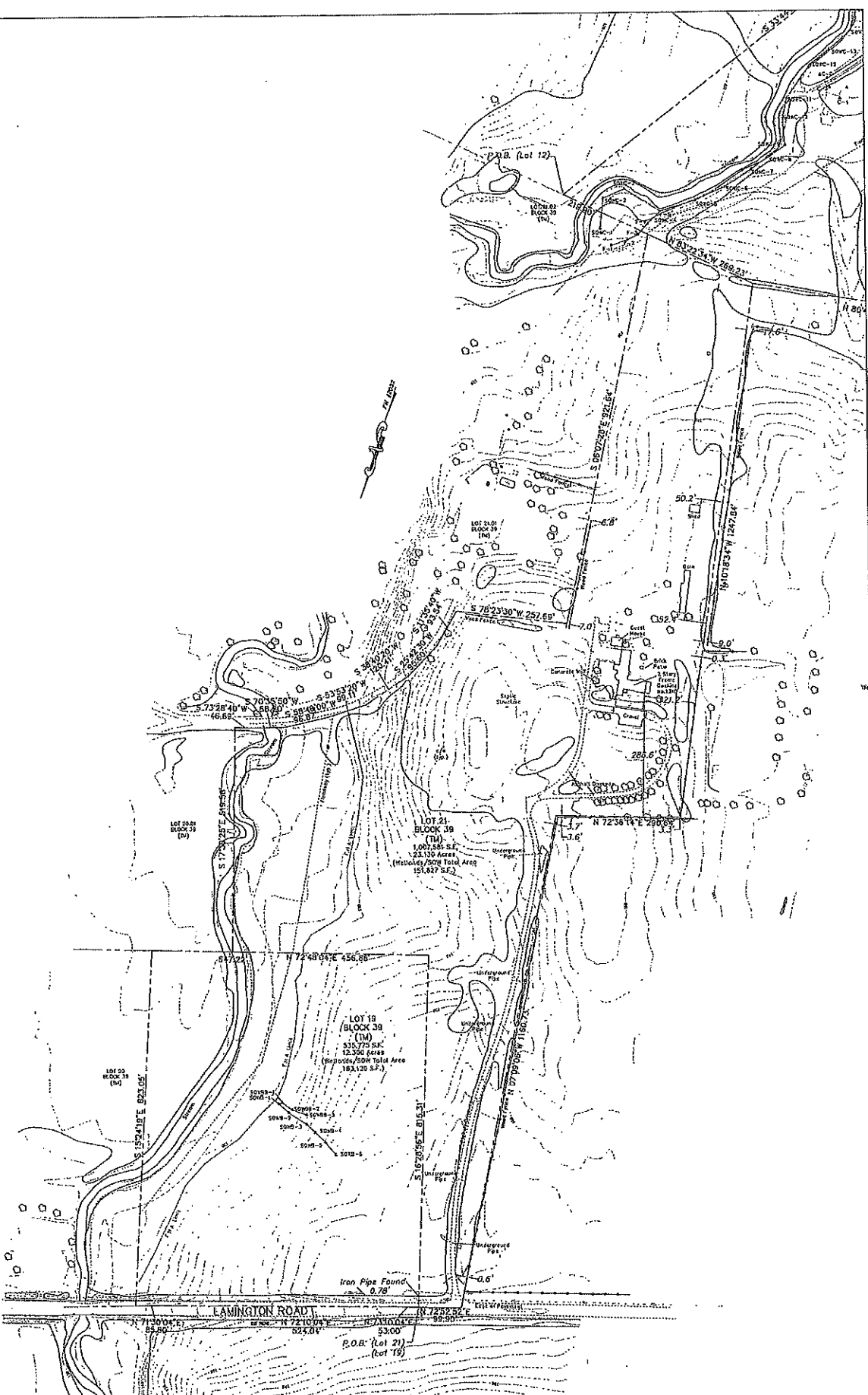
Sincerely,

**PK ENVIRONMENTAL**  
  
Sandra E. Kehrley, PE, CFM

**ENC**

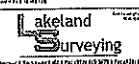
cc: NJDEP DLUR  
Judith A. Sullivan (Bedminster Township Clerk)  
James Downs (The Downs Group)

**CERTIFIED MAIL**



This map is certified to be correct.

Surveyor  
 Jeffrey O. Miles  
 License No. 11111-K-21-Mich-33  
 11111-K-21-Mich-33  
 11111-K-21-Mich-33  
 11111-K-21-Mich-33



More J. Cline Jeffrey O. Miles  
 Michigan License 449-0748 Michigan License 11111-K-21-Mich-33

Surveyed and Platted for the  
 State of Michigan  
 11111-K-21-Mich-33

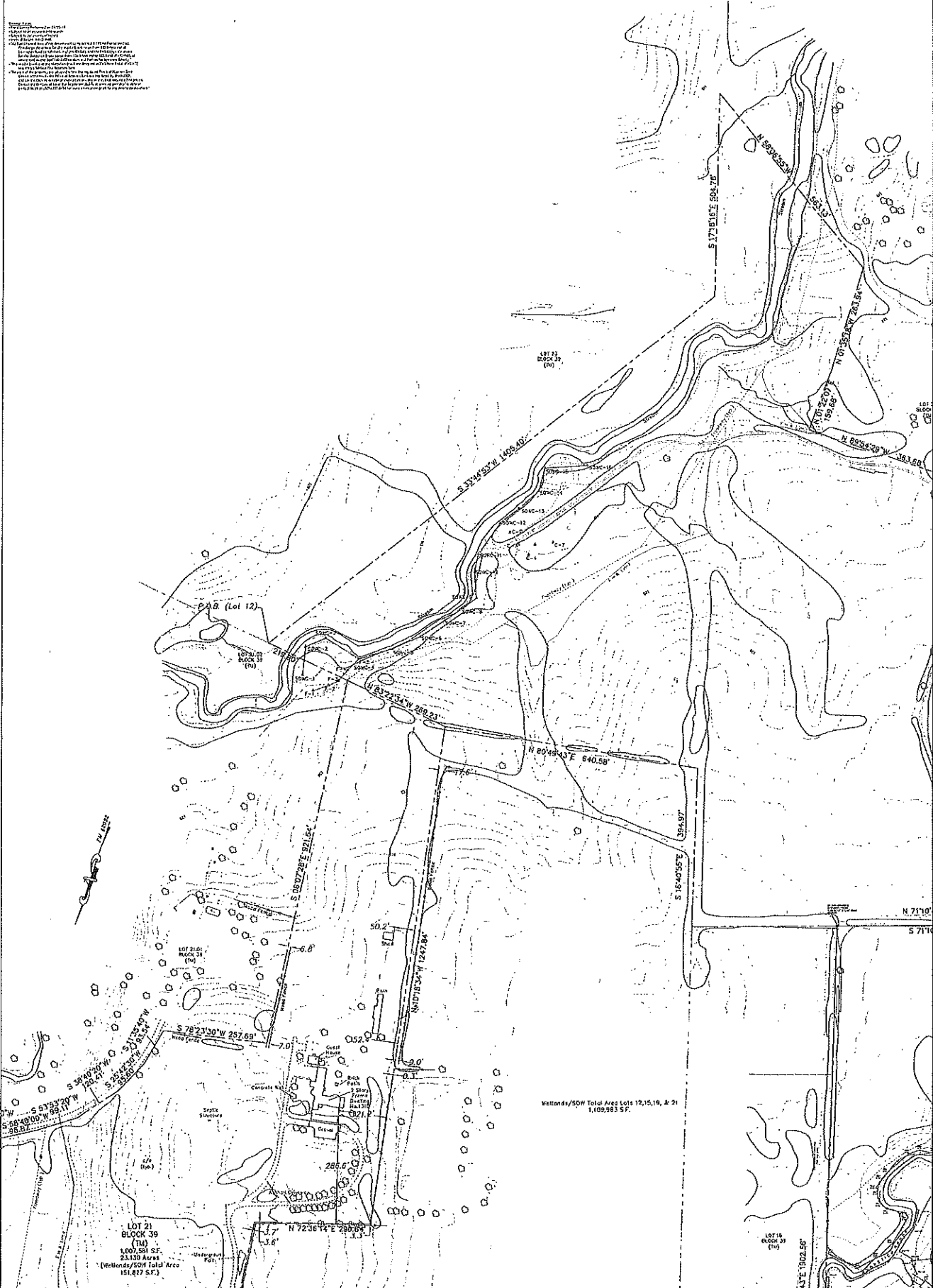
DATE	BY	REVISIONS



This survey certified by  
Jim Brown

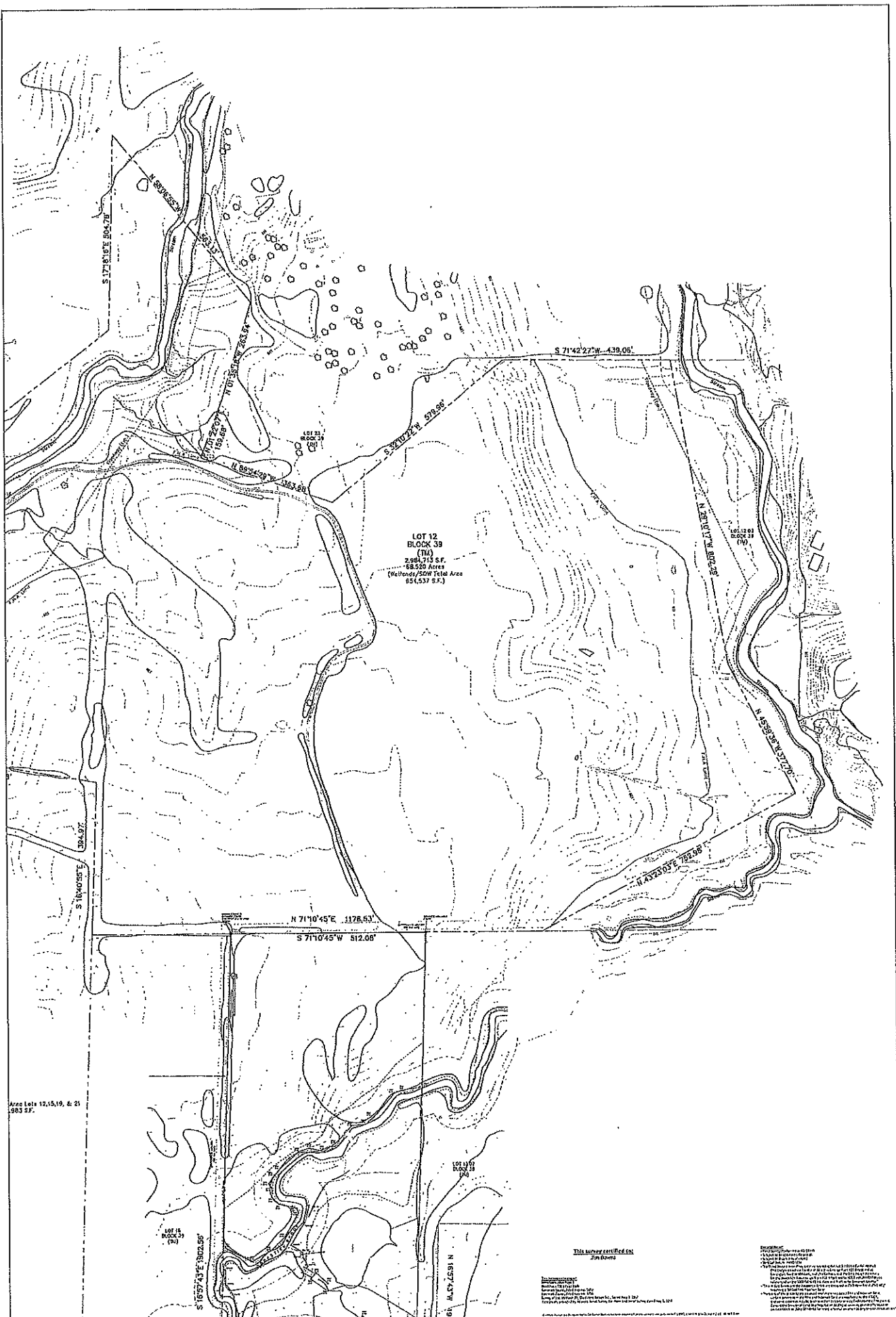
Surveyor  
Lakeland Surveying  
1123 13th Avenue, Suite 100  
Lakeland, FL 34601  
Phone: 813-522-1123  
Fax: 813-522-1124  
www.lakeland-surveying.com

Notes:  
1. This survey was prepared for the purpose of showing the location of the proposed subdivision and the location of the proposed easements.  
2. The survey was conducted on the ground and the measurements were taken with a total station.  
3. The survey was conducted on the ground and the measurements were taken with a total station.  
4. The survey was conducted on the ground and the measurements were taken with a total station.  
5. The survey was conducted on the ground and the measurements were taken with a total station.



<p>METRODAS &amp; TOPOGRAPHIC SURVEY OF PROPERTY TAX LOTS 12, 15, 16, &amp; 21 - Block 39 1123 13th Avenue, Suite 100 Lakeland, FL 34601 Phone: 813-522-1123 Fax: 813-522-1124 www.lakeland-surveying.com</p>		<p><b>Lakeland Surveying</b></p>		<p>Eric A. Clifton    Jeffrey O. Hayes Surveyor    Surveyor Lakeland, FL 34601    Lakeland, FL 34601</p>		<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		NO.	DATE	DESCRIPTION			
NO.	DATE	DESCRIPTION											





LOT 12  
BLOCK 39  
(TM)  
2,884,713 S.F.  
68,520 Acres  
(Wetlands/SDW Total Area  
651,637 S.F.)

Area Lots 12, 15, 19, & 21  
983 S.F.

This survey certified by  
Jon Arnes

**NOTICE TO CONTRACTORS**  
This survey was prepared by Lakeland Surveying, Inc. under contract to the State of Florida. The survey was conducted in accordance with the Florida Statutes and the Florida Board of Surveying and Mapping. The survey was completed on 10/15/2018. The survey was certified by Jon Arnes, a Professional Surveyor in the State of Florida, License No. 12345. The survey was prepared for the purpose of showing the location and extent of the Wetlands/SDW Total Area. The survey was prepared for the purpose of showing the location and extent of the Wetlands/SDW Total Area. The survey was prepared for the purpose of showing the location and extent of the Wetlands/SDW Total Area.

<b>REVISIONS</b> 1. 10/15/2018 2. 10/15/2018 3. 10/15/2018		<b>GRAPHIC SCALE</b>  1 inch = 100 feet	
<b>PREPARED BY:</b> Lakeland Surveying, Inc. 1111 Lakeland Blvd., Suite 100, Lakeland, FL 34601 Phone: 813-522-1111 Fax: 813-522-1111 Email: info@lakelandsurveying.com		<b>DATE:</b> 10/15/2018 <b>BY:</b> Jon Arnes <b>CHECKED BY:</b> Jeffrey D. Ujita	



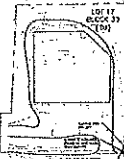
Wetlands/SOW Total Area Lots 12, 15, 16, & 21  
1,105,993 S.F.

LOT 15  
BLOCK 39  
(TA)  
975,074 S.F.  
21.727 Acres  
(Wetlands/SOW Total Area  
120,490 S.F.)

LOT 14  
BLOCK 39  
(TA)

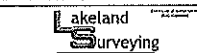
LOT 16  
BLOCK 39  
(TA)

LOT 17  
BLOCK 39  
(TA)



This survey certified by:  
[Signature]

**MEASUREMENTS & TOPOGRAPHIC SURVEY OF PROPERTY**  
 Stationed 12 & 21 - Block 39  
 1113 & 1113 1/2 Citizens Bank Tower at the Corner  
 of Main Street & 1st Street  
 Franklin County, New Jersey



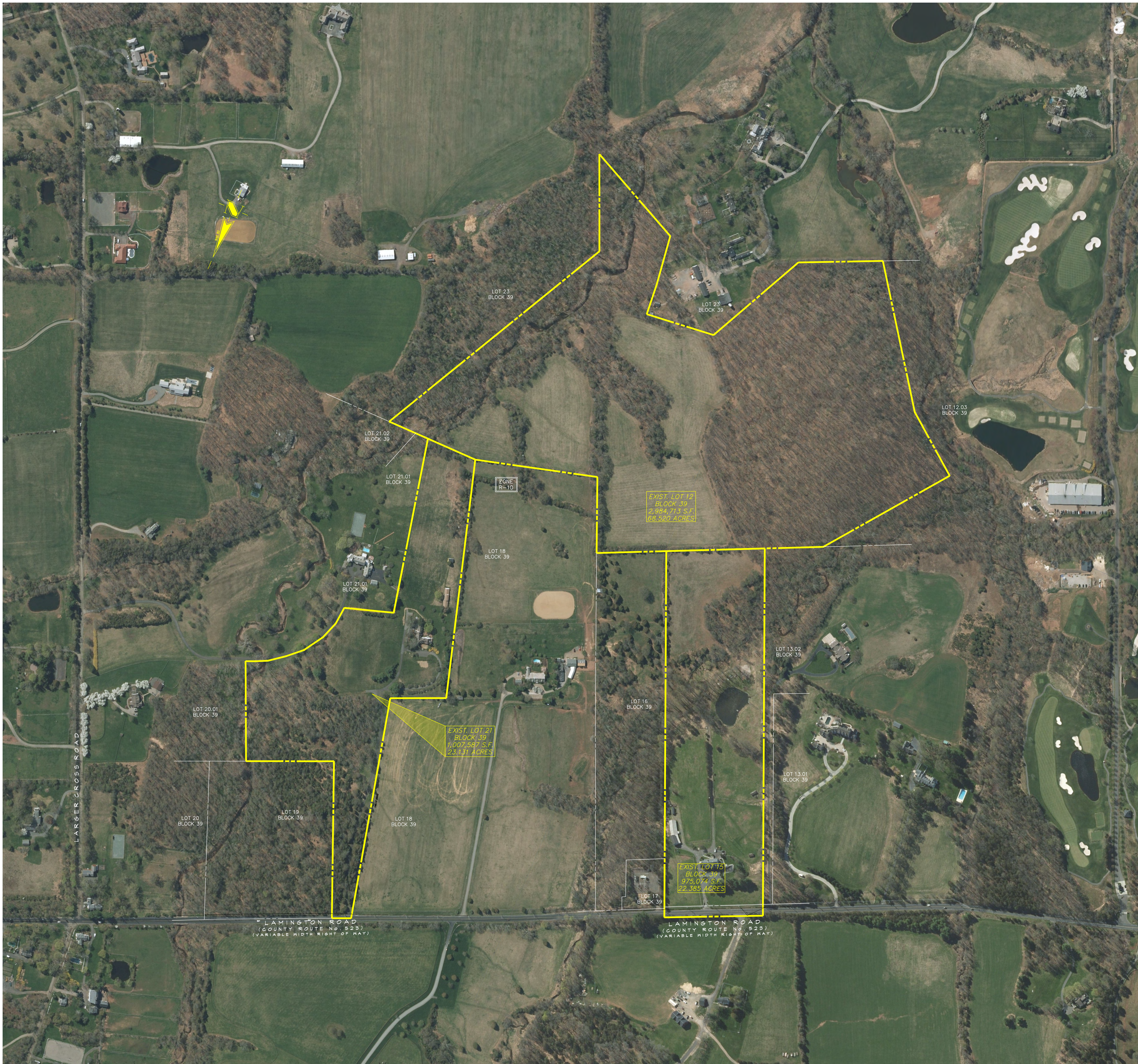
Marc J. Clone  
Professional Land Surveyor

Jelley O. Motes  
Professional Land Surveyor

REVISIONS

NO.	DATE	DESCRIPTION





REVISIONS		
NO.	DATE	DESCRIPTION



www.gladstonedesign.com

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 Land Surveyors  
 Landscape Architects  
 Land Planners

265 Main Street, P.O. Box 400  
 Gladstone, New Jersey 07934  
 T: (908) 234-0309  
 F: (908) 719-3320

NJ Certificate of Authorization  
 No. 24GA28034400

Ronald A. Kennedy, P.E., P.P., CME, LEED AP  
 Kurt T. Hanic, P.L.S.  
 Robert C. Morris  
 Robert C. Moschello, P.E.

**RONALD A. KENNEDY, P.E.**  
 NJ PROFESSIONAL ENGINEER  
 LICENSE No. 24GE03345300

**BEDMINSTER FARMS**

LOTS 12, 15, AND 21 BLOCK 39

BEDMINSTER TOWNSHIP  
 SOMERSET COUNTY  
 NEW JERSEY

SHEET TITLE  
 PRELIMINARY AND FINAL MAJOR  
 SUBDIVISION PLANS

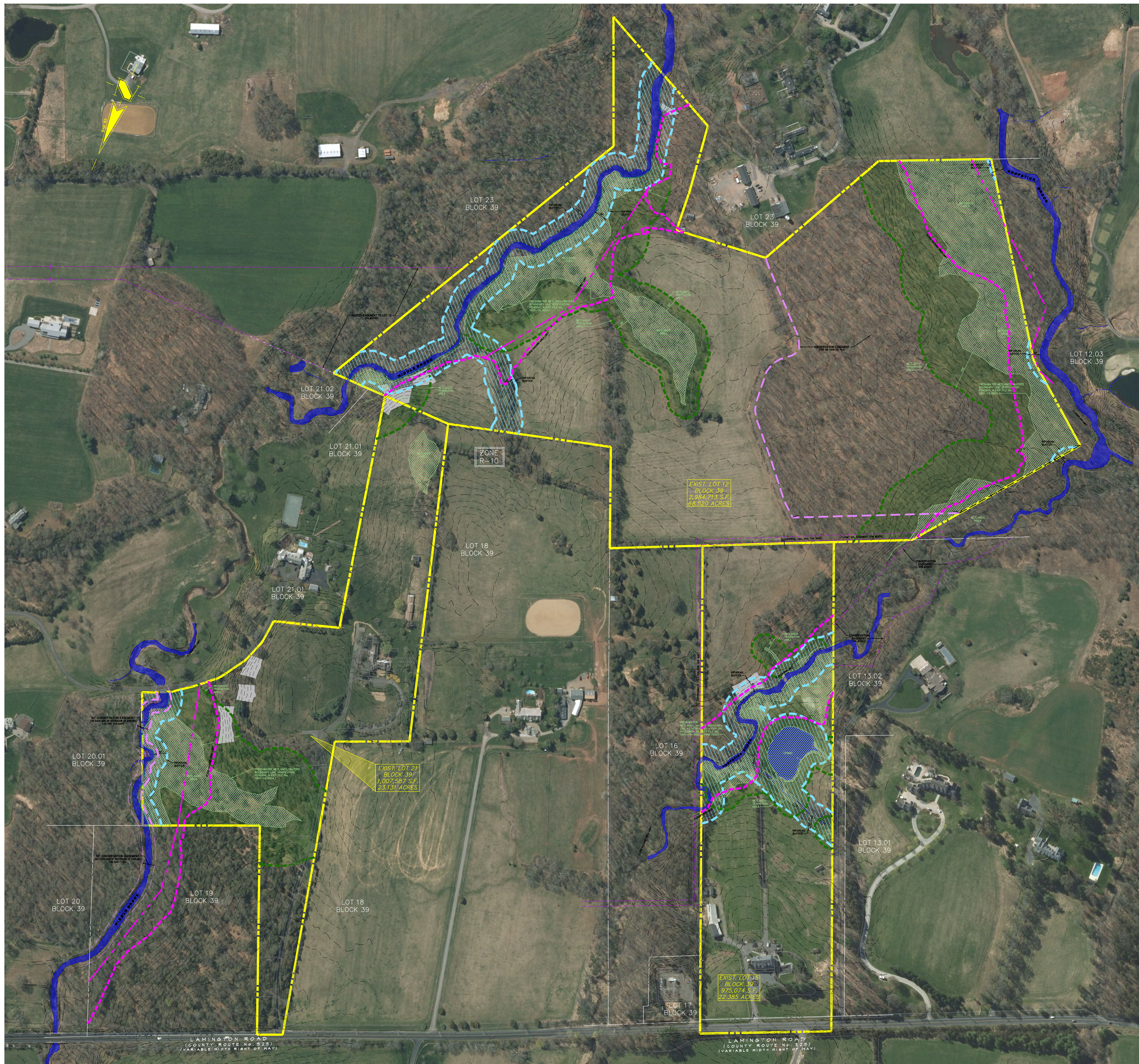
**AERIAL EXHIBIT**

DATE  
 JUNE 11, 2020

SCALE AS NOTED JOB NO.  
 984-03

DRAWN MDD SHEET NO.  
 1 OF 1

CHKD.



**SLOPE LEGEND**

SLOPE	CATEGORY
[White box]	0.00% TO 14.99%
[Light gray box]	15.00% TO 24.99%
[Dark gray box]	25.00% AND GREATER

**ENVIRONMENTAL CONSTRAINTS LEGEND**

[Green hatched box]	WETLANDS
[Blue hatched box]	WETLANDS BUFFER
[Pink dashed line]	TOWNSHIP STREAM CONSERVATION EASEMENT
[Blue dashed line]	RIPIARIAN BUFFER
[Red dashed line]	FLOOD HAZARD AREA LINE
[Red solid line]	FLOODWAY LIMIT
[Purple dashed line]	CONSERVATION EASEMENT LINE

**REVISIONS**

NO.	DATE	DESCRIPTION



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**PROJECT**

**BEDMINSTER FARMS**

LOTS 12, 15, AND 21 BLOCK 39

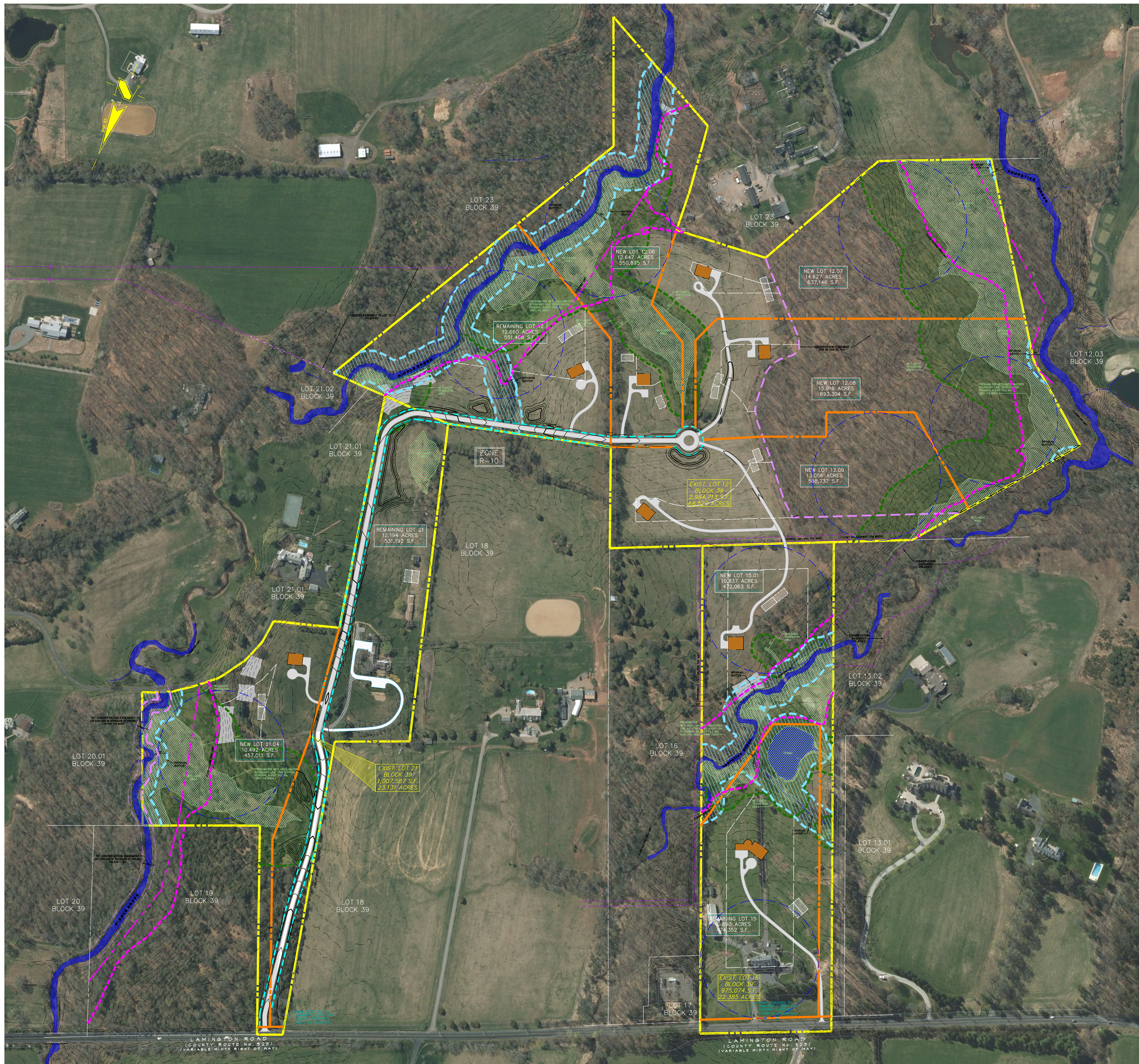
BEDMINSTER TOWNSHIP  
 SOMERSET COUNTY  
 NEW JERSEY

**SHEET TITLE**

PRELIMINARY AND FINAL MAJOR  
 SUBDIVISION PLANS

**ENVIRONMENTAL  
 CONSTRAINTS PLAN**

DATE	JUNE 11, 2020
SCALE	AS NOTED
JOB NO.	984-03
DRAWN	MDD
CHKD.	
SHEET NO.	1 OF 1



**SLOPE LEGEND**

SLOPE	CATEGORY
[White box]	0.00% TO 14.99%
[Light gray box]	15.00% TO 24.99%
[Dark gray box]	25.00% AND GREATER

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**REVISIONS**

NO.	DATE	DESCRIPTION



**GLADSTONE DESIGN, Inc.**

Consulting Engineers  
 Land Surveyors  
 Landscape Architects  
 Land Planners

265 Main Street, P.O. Box 400  
 Gladstone, New Jersey 07934  
 T: (908) 234-0309  
 F: (908) 719-3320

NJ Certificate of Authorization  
 No. 24GA28034400

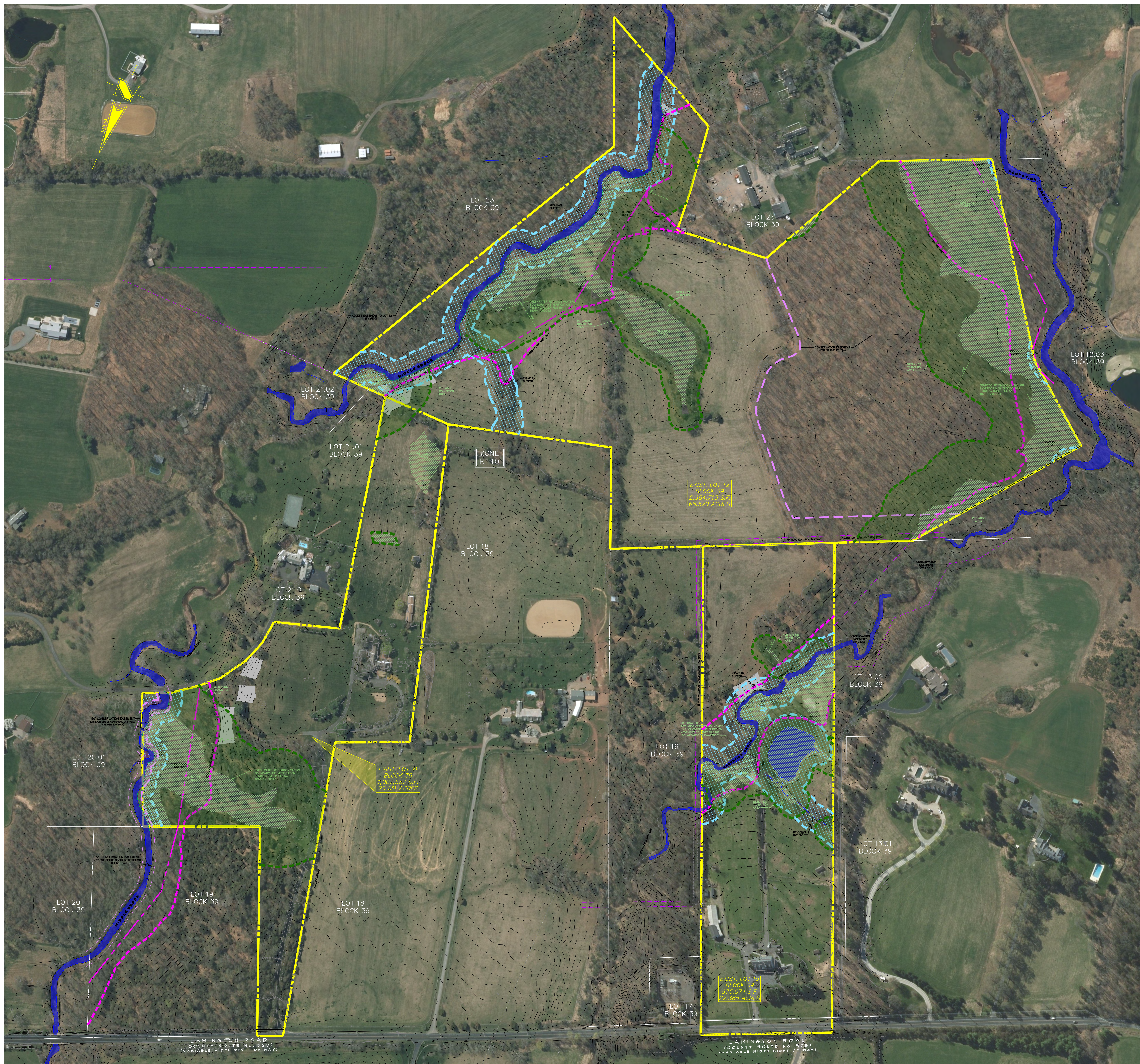
Ronald A. Kennedy, P.E., P.P., CME, LEED AP  
 Kurt T. Hanic, P.L.S.  
 Robert C. Morris  
 Robert C. Moschello, P.E.

**RONALD A. KENNEDY, P.E.**  
 NJ PROFESSIONAL ENGINEER  
 LICENSE No. 24GE03345300

**BEDMINSTER FARMS**  
 LOTS 12, 15, AND 21 BLOCK 39  
 BEDMINSTER TOWNSHIP  
 SOMERSET COUNTY  
 NEW JERSEY

**SUBDIVISION LAYOUT RENDERING**

DATE	JUNE 11, 2020
SCALE	AS NOTED
DRAWN	MDD
CHKD.	
JOB NO.	984-03
SHEET NO.	1 OF 1



**SLOPE LEGEND**

SLOPE	CATEGORY
[White box]	0.00% TO 14.99%
[Light gray box]	15.00% TO 24.99%
[Dark gray box]	25.00% AND GREATER

**ENVIRONMENTAL CONSTRAINTS LEGEND**

[Green hatched box]	WETLANDS
[Green dashed line]	WETLANDS BUFFER
[Pink dashed line]	TOWNSHIP STREAM CONSERVATION EASEMENT
[Blue dashed line]	RIPIARIAN BUFFER
[Red dashed line]	FLOOD HAZARD AREA LINE
[Red solid line]	FLOODWAY LIMIT
[Purple dashed line]	CONSERVATION EASEMENT LINE

**REVISIONS**

NO.	DATE	DESCRIPTION



**GLADSTONE DESIGN, Inc.**  
 Consulting Engineers  
 Land Surveyors  
 Landscape Architects  
 Land Planners

265 Main Street, P.O. Box 400  
 Gladstone, New Jersey 07934  
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**RONALD A. KENNEDY, P.E.**  
 NJ PROFESSIONAL ENGINEER  
 LICENSE No. 24GE03345300

**PROJECT**

**BEDMINSTER FARMS**

LOTS 12, 15, AND 21 BLOCK 39

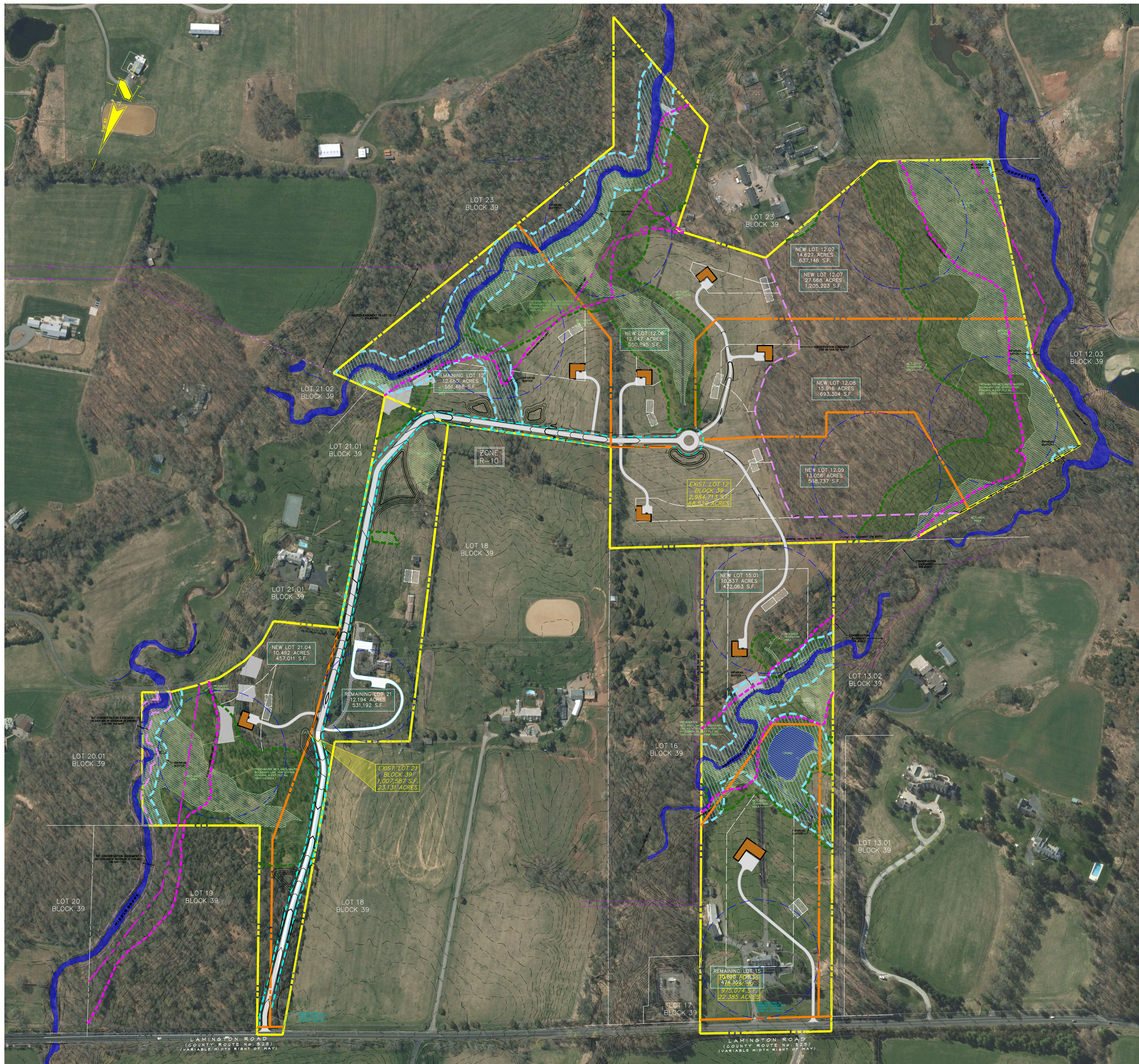
BEDMINSTER TOWNSHIP  
 SOMERSET COUNTY  
 NEW JERSEY

**SHEET TITLE**

PRELIMINARY AND FINAL MAJOR  
 SUBDIVISION PLANS

**ENVIRONMENTAL  
 CONSTRAINTS PLAN**

DATE	JULY 9, 2020	JOB NO.	984-03
SCALE	AS NOTED	DRAWN	MDD
CHKD.		SHEET NO.	1 OF 1



REVISIONS		
NO.	DATE	DESCRIPTION

www.gladstonedesign.com  
**GLADSTONE DESIGN, Inc.**  
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PROJECT  
**BEDMINSTER FARMS**  
 LOTS 12, 15, AND 21 BLOCK 39  
 BEDMINSTER TOWNSHIP  
 SOMERSET COUNTY  
 NEW JERSEY

SHEET TITLE  
 PRELIMINARY AND FINAL MAJOR  
 SUBDIVISION PLANS  
**SUBDIVISION LAYOUT  
 RENDERING**

DATE	JULY 9, 2020	JOB NO.	984-03
SCALE	AS NOTED	DRAWN	MDD
CHKD.		SHEET NO.	1 OF 1

**SLOPE LEGEND**

SLOPE	CATEGORY
[White Box]	0.00% TO 14.99%
[Light Gray Box]	15.00% TO 24.99%
[Dark Gray Box]	25.00% AND GREATER

**ENVIRONMENTAL CONSTRAINTS LEGEND**

[Green Hatched Box]	WETLANDS
[Green Dashed Box]	WETLANDS BUFFER
[Pink Dashed Box]	TOWNSHIP STREAM CONSERVATION EASEMENT
[Blue Dashed Box]	RIPARIAN BUFFER
[Yellow Dashed Box]	FLOOD HAZARD AREA LINE
[Red Dashed Box]	FLOODWAY LIMIT
[Purple Dashed Box]	CONSERVATION EASEMENT LINE



NORTH

Deborah Carbone Associates, Inc.  
Landscape Architects & Planners  
540 Route 202, Fair Hills, NJ 07951

**BEDMINSTER FARMS**  
SAMPLE FARM HOUSE  
PLAN  
1" = 50'

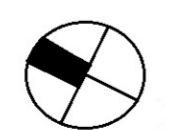
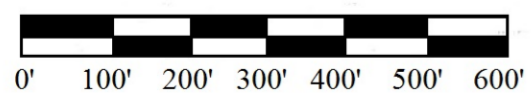
LAMINGTON ROAD





# BEDMINSTER FARMS

AGRICULTURAL PLAN - 6.25.2020  
 CONCEPT RENDERING



## CIRCULATION LEGEND

- Road Access
- Trails & Driveways



**State of New Jersey**

DEPARTMENT OF ENVIRONMENTAL PROTECTION

PHIL MURPHY  
Governor  
SHEILA OLIVER  
Lt. Governor

CATHERINE R. McCABE  
Commissioner

Division of Land Use Regulation  
Mail Code 501-02A  
P.O. Box 420  
Trenton, New Jersey 08625-0420  
[www.nj.gov/dep/landuse](http://www.nj.gov/dep/landuse)

The Downs Group  
Attn: James M. Downs  
44 Prentice Lane  
Mendham, NJ 07945

February 25, 2020

Re: Flood Hazard Area Verification Approval  
File No.: 1801-19-0004.2 LUP190001  
Applicant: James M. Downs  
Block: 39; Lot: 12, 15, 19, 21  
Township Bedminster; County Somerset

Dear James M. Downs:

This letter is in response to your request for a flood hazard area verification along Hoopstick Brook/unnamed tributaries and Middle Brook/unnamed tributaries at the above-referenced site. The Department has reviewed your application and hereby verifies the flood hazard area elevation limits and riparian zone limits on this site, as depicted on the approved plans described below.

The flood hazard area was established using Method 3 (FEMA fluvial method) as described at N.J.A.C. 7:13-3.4(e), which is based on existing FEMA flood mapping in a fluvial flood hazard area.

The riparian zone extends 50 feet from the top of bank along both sides of each regulated water on this site. If a discernible bank is not present along a regulated water, the top of bank shall be established per the definition cited in N.J.A.C. 7:13-1.2.

Please note that altering land cover or topography in a flood hazard area is regulated by the Flood Hazard Area Control Act rules and may be prohibited or restricted in some cases. A flood hazard area permit is required prior to undertaking any regulated activity within a flood hazard area described at N.J.A.C. 7:13-2.4. Some projects may qualify for a permit-by-rule at N.J.A.C. 7:13-7. All other projects must receive a general permit-by certification under N.J.A.C. 7:13-8, general permit under N.J.A.C. 7:13-9 or an individual permit under N.J.A.C. 7:13-10. Projects situated entirely outside both the flood hazard area and riparian zone do not require a flood hazard area approval.

This verification is based on the best information presently available to the Department and is subject to change if this information is no longer accurate or if additional information is made available to the Department including, but not limited to, information supplied by the applicant.

The drawings hereby approved were prepared by Marc J. Cifone, Professional Land Surveyor, and Jefferey O. Males, Professional Land Surveyor, dated October 7, 2019, last revised February 2, 2020, and entitled:

"NJ FLOOD HAZARD AREA (FHA) VERIFICATION PLAN TAX LOTS 12,15, 19 &21 – BLOCK 39  
1120 & 1310 LAMINGTON ROAD, TOWNSHIP OF BEDMINSTER SOMERSET COUNTY, NEW  
JERSEY" sheet nos. 1, 2, 3, and 4 of 4.

Within 90 calendar days of the date of this letter, the applicant shall submit the following information to the clerk of each county in which the site is located, and shall send proof to the Department that this information is recorded on the deed of each lot referenced in the verification:

1. The Department file number for the verification;
2. The approval and expiration dates of the verification;
3. A metes and bounds description of any flood hazard area limit and/or floodway limit approved under the verification;
4. The flood hazard area design flood elevation, or range of elevations if variable, approved under the verification;
5. The width and location of any riparian zone approved under the verification; and
6. The following statement: "The State of New Jersey has determined that all or a portion of this lot lies in a flood hazard area and/or riparian zone. Certain activities in flood hazard areas and riparian zones are regulated by the New Jersey Department of Environmental Protection and some activities may be prohibited on this site or may first require a flood hazard area permit. Contact the Division of Land Use Regulation at (609) 292-0060 or [www.nj.gov/dep/landuse](http://www.nj.gov/dep/landuse) for more information prior to any construction onsite."

Failure to have this information recorded in the deed of each lot and/or to submit proof of recording to the Department constitutes a violation of the Flood Hazard Area Control Act rules and may result in suspension or termination of the verification and/or subject the applicant to enforcement action pursuant to N.J.A.C. 7:13-24.

A copy of this plan, together with the information upon which this boundary determination is based, has been made part of the Division's public records. Please note that this letter in no way legalizes any fill that may have been previously placed onsite, or any other regulated activities that may have previously occurred. Also, this determination does not affect the applicant's responsibility to obtain any local, State or Federal permits that may be required, such as local building permits or freshwater wetlands approvals.

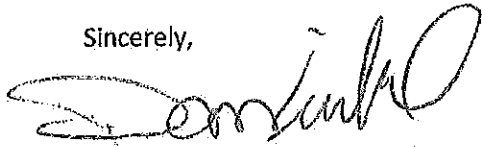
This verification is valid for five years from its issuance date. A verification shall be extended, modified and/or transferred pursuant to N.J.A.C. 7:13-22. Pursuant to N.J.A.C. 7:13-5.3(c), if the Department issues a verification for a site, and within five years issues a permit for a regulated activity that relies upon the verification at that site, the Department shall automatically reissue the verification upon approval of the permit or authorization so that the verification and permit or authorization have the same expiration date. This automatic reissuance shall occur only once per verification and there is no fee for this reissuance. The reissued verification shall reflect any alterations to the flood hazard area design flood elevation, flood hazard area limit and/or floodway limit that will result from the regulated activities authorized under the permit authorization. All pre-construction and post-construction elevations and limits shall be demarcated on drawings approved under the reissued verification.

In accordance with N.J.A.C. 7:13-23, any person who is aggrieved by this decision may request a hearing within 30 days after notice of the decision is published in the DEP Bulletin by writing to: New

Jersey Department of Environmental Protection, Office of Legal Affairs, Attention: Adjudicatory Hearing Requests, Mail Code 401-04L, 401 East State Street P.O. Box 402, 7<sup>th</sup> Floor Trenton, NJ 08625-0402 and submit a copy of the hearing request to the Director of the Division of Land Use Regulation, at the address set forth at N.J.A.C. 7:13-1.3. This request must include the information listed at N.J.A.C. 7:13-23.1(c) on a adjudicatory hearing request form, available from the Department, at the address set forth at N.J.A.C. 7:13-1.3. The DEP Bulletin is available through the Department's website at [www.nj.gov/dep](http://www.nj.gov/dep) and the Checklist is available through the Division's website at [www.nj.gov/dep/landuse/forms/html](http://www.nj.gov/dep/landuse/forms/html).

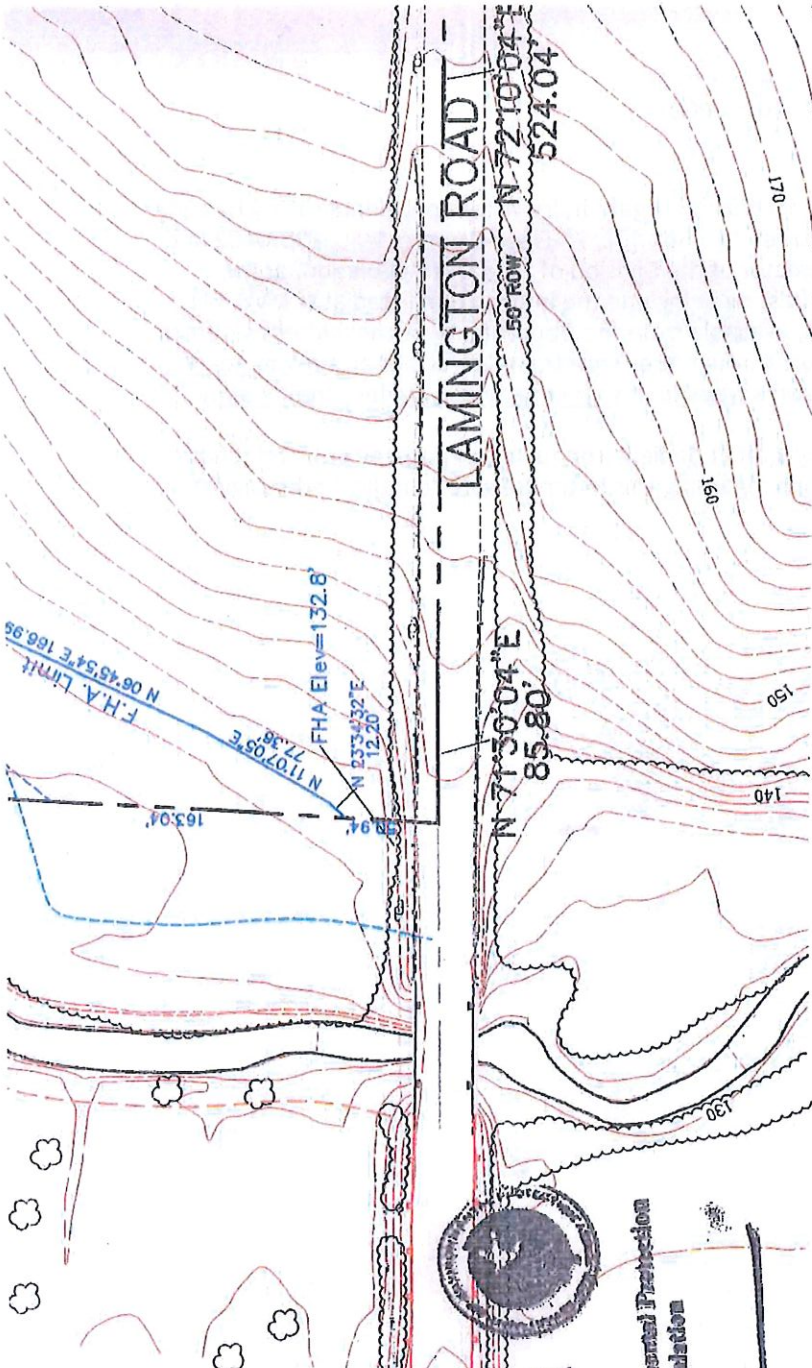
Please contact Danielle Ronquillo of my staff at [danielle.ronquillo@dep.nj.gov](mailto:danielle.ronquillo@dep.nj.gov) or by telephone at (609) 984-0464 should you have any questions regarding this letter. Be sure to indicate the Division's file number in all communication.

Sincerely,



Damian T. Friebe  
Environmental Engineer III  
Bureau of Inland Regulation

c. Agent  
Municipal Clerk

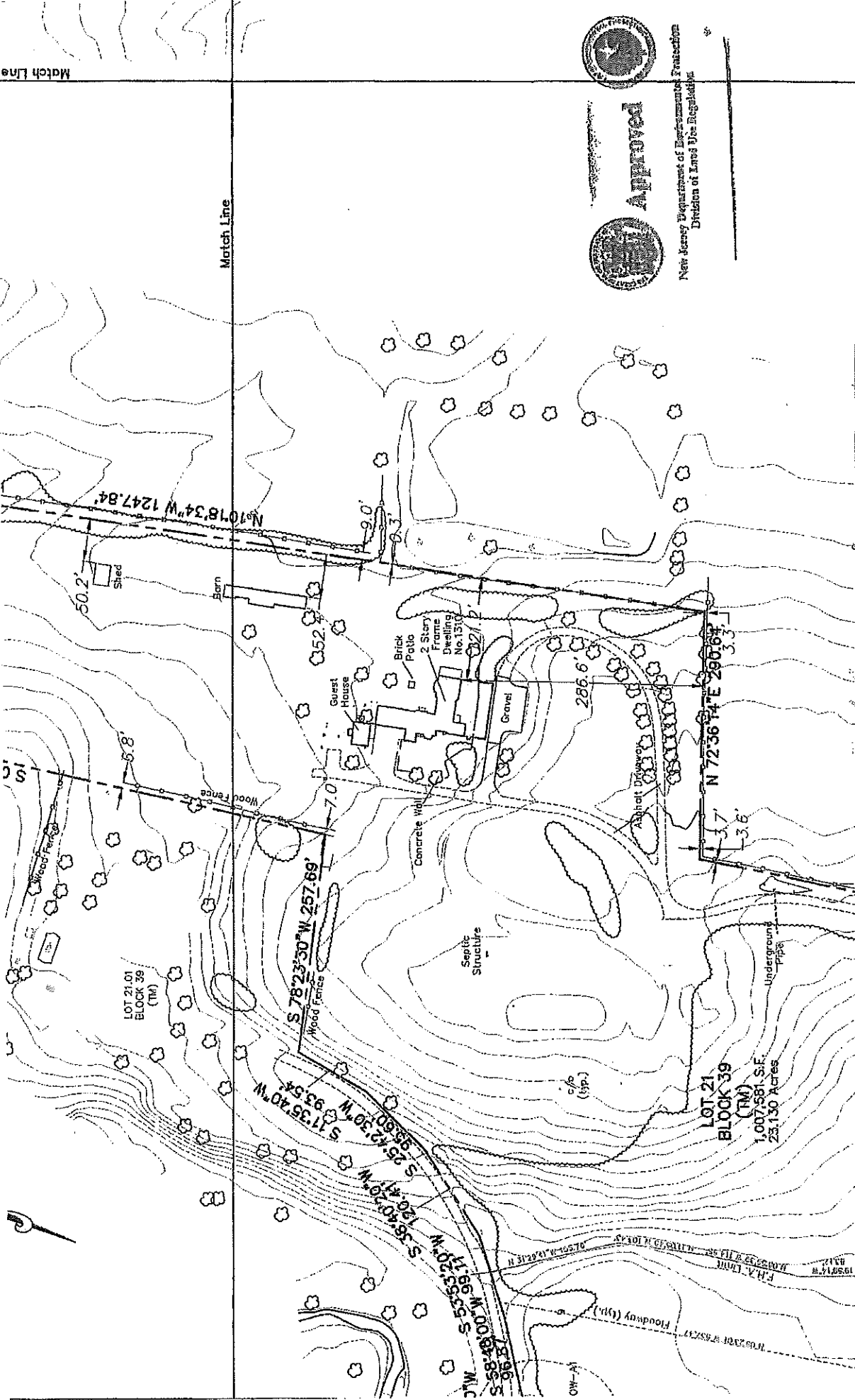


**Approved**  
 New Jersey Department of Environmental Protection  
 Division of Land Use Regulation

**This survey references:**  
 Dead Book 2038 Page 7  
 Somerset County Filed Map No. 2032  
 Somerset County Filed Map No. 1736  
 Survey of Lot 19 Block 39, Gladstone Design Inc., Dated May 3, 2017  
 Topography provided by Atlantic Aerial Survey Co. from and aerial survey dated May 3, 2017  
 A written Waiver and Direction Not to Set Corner Markers has been obtained from the ultimate user pursuant to P.L.2003, c.14 (C4538-36.3) and N.J.A.C. 13-40.5.1 (d).

**This survey certified to:**  
 Jim Downs

NJ FLOOD HAZARD AREA (FHA) VERIFICATION PLAN Tax Lots 12, 15, 19 & 21 - Block 39 1120 & 1310 Lamington Road, Township of Bedminster Somerset County, New Jersey		PROJECT NUMBER 190369	Certificate of Authorization #24G0269000	Marc J. Cifone PROFESSIONAL LAND SURVEYOR	Jeffrey O. Males PROFESSIONAL LAND SURVEYOR
FIELD: JSJ	DWN BY: JSJ	CHECKED: MJC	DATE: 10/07/19	SCALE: 1"=100'	117 Hibernia Avenue   Rockaway   NJ   Ph: (973) 625-5670   Fax: (973) 625-4121 <a href="http://www.LakelandSurveying.com">www.LakelandSurveying.com</a>
			Lakeland <b>Surveying</b>	Marc J. Cifone PROFESSIONAL LAND SURVEYOR	Jeffrey O. Males PROFESSIONAL LAND SURVEYOR
			N 71°30'04"E 85.80'	N 72°10'04"E 524.04'	Marc J. Cifone N.J. P.L.S. LIC. No. 24GSO4132900 Jeffrey O. Males N.J. P.L.S. LIC. No. 24GSO3008700



Match Line

Match Line



Approved

New Jersey Department of Environmental Protection  
Division of Land Use Regulation

<b>LAKELAND SURVEYING</b> 1177 RIBBON AVENUE   ROSELAND, NJ   PH: (973) 612-5070   FAX: (973) 627-4121 WWW.LAKELANDSURVEYING.COM		Marc J. Orfano N.J. P.L.S. LIC. No. 246524132000 Jeffrey O. Males N.J. P.L.S. LIC. No. 246533008760		Marc J. Orfano Jeffrey O. Males PROFESSIONAL LAND SURVEYORS PROFESSIONAL LAND SURVEYORS		INITIALS JSJ	DATE 07/07/20	REVISIONS REVISION FRA/Floodway labels and notes
<b>LAKELAND SURVEYING</b> 1177 RIBBON AVENUE   ROSELAND, NJ   PH: (973) 612-5070   FAX: (973) 627-4121 WWW.LAKELANDSURVEYING.COM		Marc J. Orfano Jeffrey O. Males PROFESSIONAL LAND SURVEYORS PROFESSIONAL LAND SURVEYORS		Marc J. Orfano Jeffrey O. Males PROFESSIONAL LAND SURVEYORS PROFESSIONAL LAND SURVEYORS		INITIALS JSJ	DATE 07/07/20	REVISIONS REVISION FRA/Floodway labels and notes
PROJECT NUMBER 190359	SHEET NO. 2/4	SCALE 1"=100'	IJ FLOOD HAZARD AREA (FHA) VERIFICATION PLAN Tax Lots 12 & 21 - Block 39 1120 & 1310 Lanthorn Road, Township of Bedminster Somerset County, New Jersey					
PREP. JSJ	DWN. BY. JSJ	CHECKED. JSJ	DATE 04/22/19	IJ FLOOD HAZARD AREA (FHA) VERIFICATION PLAN Tax Lots 12 & 21 - Block 39 1120 & 1310 Lanthorn Road, Township of Bedminster Somerset County, New Jersey				

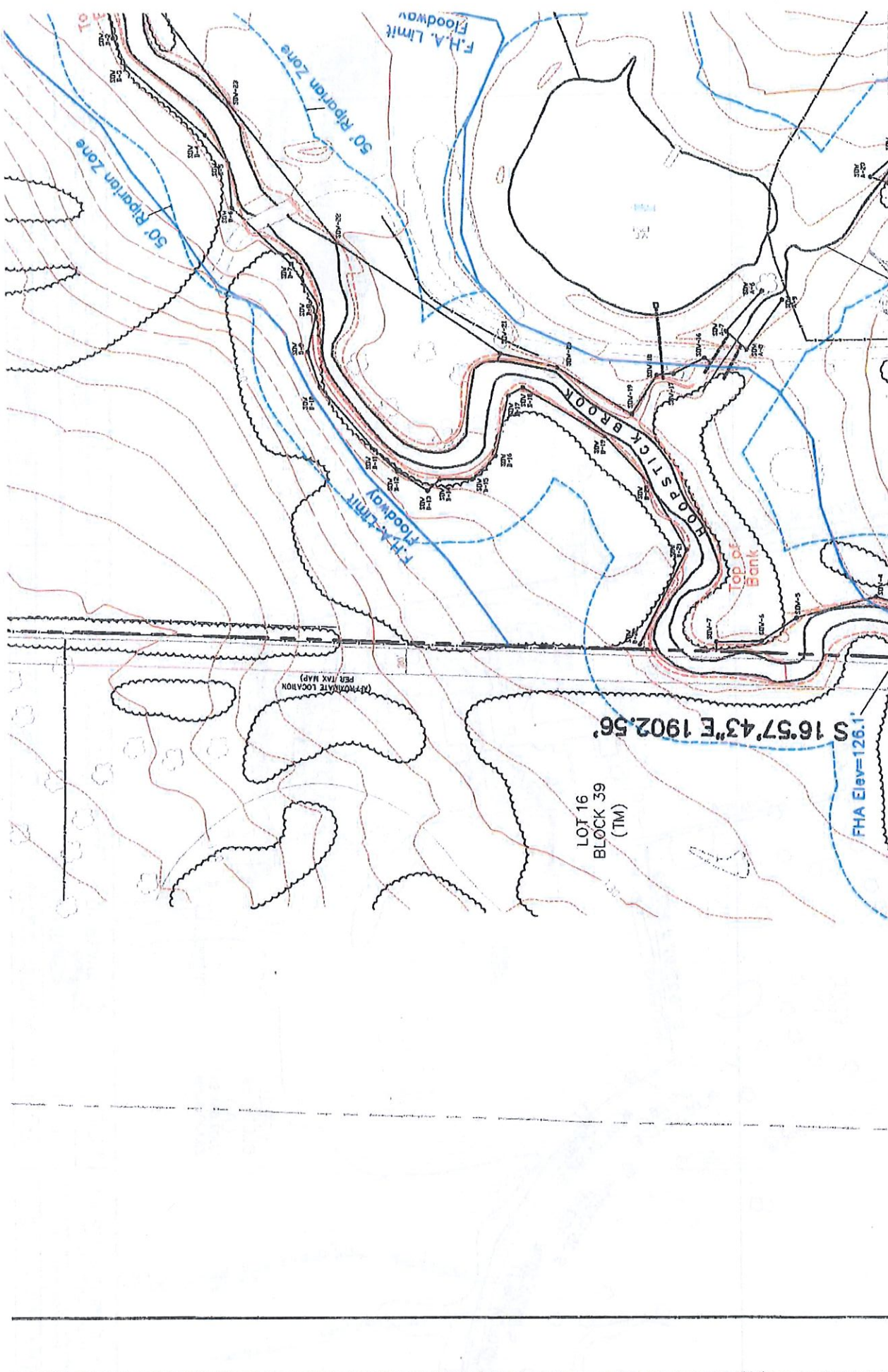
Professional Engineer Seal

LAKELAND SURVEYING

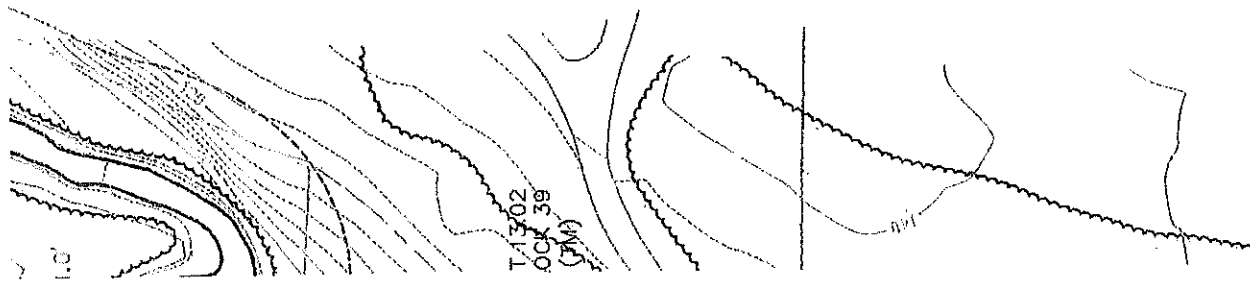
1177 RIBBON AVENUE | ROSELAND, NJ | PH: (973) 612-5070 | FAX: (973) 627-4121  
WWW.LAKELANDSURVEYING.COM

PROJECT NUMBER  
190359  
SHEET NO.  
2/4  
SCALE  
1"=100'

IJ FLOOD HAZARD AREA (FHA) VERIFICATION PLAN  
Tax Lots 12 & 21 - Block 39  
1120 & 1310 Lanthorn Road, Township of Bedminster  
Somerset County, New Jersey



<b>NJ FLOOD HAZARD AREA (FHA) VERIFICATION PLAN</b> Tax Lots 12 & 21 - Block 39 1120 & 1310 Lamington Road, Township of Bedminster Somerset County, New Jersey		PROJECT NUMBER 190369	Certificate of Authorization 12/6262650000	Marc J. Cifone PROFESSIONAL LAND SURVEYOR	Jeffrey O. Males PROFESSIONAL LAND SURVEYOR
FIELD: JSG	DWN BY: JSG	CHECKED: MJC	DATE 04/22/19	<b>Lakeland Surveying</b> 117 Hibernia Avenue   Rockaway   NJ   Ph: (973) 625-5670   Fx: (973) 625-4121 www.LakelandSurveying.com	
SHEET NO. 3/4			SCALE 1" = 100'		
Marc J. Cifone N.J. P.L.S. LIC. No. 24GS041329C0 Jeffrey O. Males N.J. P.L.S. LIC. No. 24GS03008700					



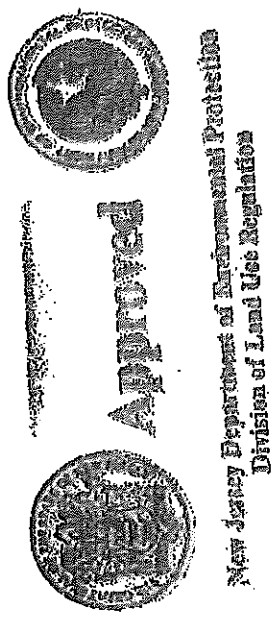
T1302  
OCK 39  
(FM)

**This survey certified to:**  
**Jim Downs**

This survey references:  
Deed Book 2038 Page 7  
Deed Book 7083 Page 2802  
Somerset County Filled Map No. 2032  
Somerset County Filled Map No. 1736  
Survey of Lot 15 Block 39, Gladstone Design, Inc., Dated May 3, 2017  
Topography provided by Atlantic Aerial Survey Co. from aerial survey dated May 3, 2017

A Written Waiver and Direction Not to Set Corner Markers has been obtained from the ultimate user pursuant to P.L.2003, c.14 (C-6.9.3-36.3) and N.J.A.C. 13:40-5.1 (d).

**General Notes:**  
- Field Survey Performed on 03/22/19  
- Subject to an accurate title search  
- Subject to documents of record  
- Vertical Datum: NAVD 1988  
- "NJ Flood Hazard Area (FHA) determined using Method 3 / FEMA Fluvial Re  
FHA design elevations for the Middle Brook range from 132.8-feet ms  
Lamington Road to 109-feet, ms1 (NAVD1988), and the FHA design ele  
for the Hoopstick Brook range from 126.1-feet, ms1 to 107.5 ms1 (NAV  
referenced on the 2007/2016 FEMA Maps and Profiles for Somerset Co.  
- "The Middle Brook and the Hoopstick Brook are designed as PW2 Non- Trou  
requiring a 50-foot FHA Riparian Zone.  
- "Portions of the property are situated within the regulated FHA and Ripari  
and some activities may be prohibited on this site or may first require  
Consult the Division of Land Use Regulation (DLUR) at www.nj.gov/dl  
contact DLUR at (609)-777-0494 for more information prior to any an

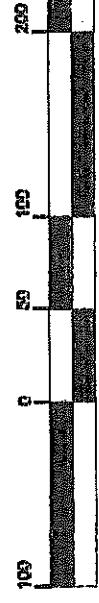


This survey performed by LakeLand Surveying, Inc., under my direct supervision, in accordance with N.J.A.C. 13:40-5.4 and to the best of my professional knowledge, as the conditions found on the date of this field survey, except such omissions, if any, below the surface of the lands not visible. This declaration is given solely to parties for title transaction only and is not transferable. Survey is valid only if print has original raised seal of the undersigned professional. This plan is made to provide information to the title holder so that it may insure title to the lands shown herein.

**REVISIONS**

DESCRIPTION
Revised FHA/Floodway labels and notes

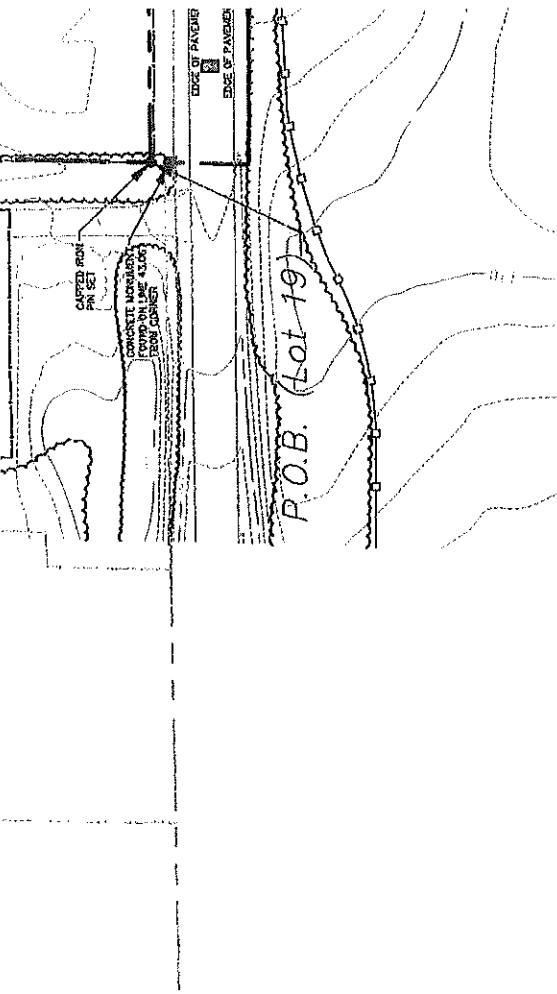
**GRAPHIC SCALE**



1 inch = 100 ft



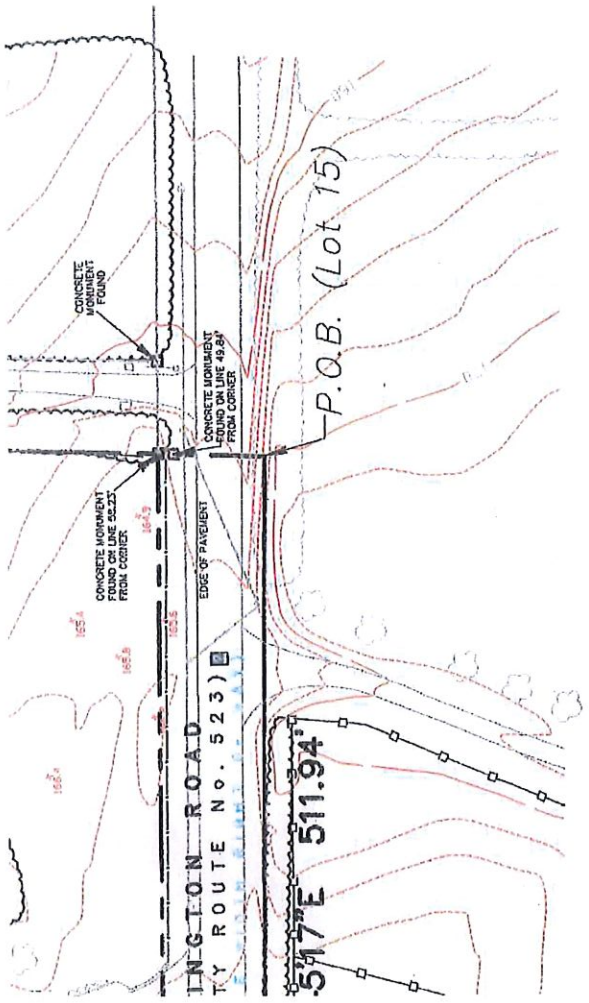
Mat



**This survey certified to:**  
**Jim Downs**

This survey references:  
 Deed Book 2038 Page 7  
 Deed Book 7083 Page 2802  
 Somerset County Filed Map No. 2032  
 Somerset County Filed Map No. 1736  
 Survey of Lot 19 Block 39, Gladstone Design Inc., Dated May 3, 2017  
 Topography provided by Atlantic Aerial Survey Co. from and aerial survey dated May 3, 2017  
 A written Waiver and Direction Not to Set Corner Markers has been obtained from the ultimate user pursuant to P.L.2003, c.14 (C14S-36.3) and N.J.A.C. 13:9-5.1 (6).

<b>NJ FLOOD HAZARD AREA (FHA) VERIFICATION PLAN</b> Tax Lots 12 & 21 - Block 39 1120 & 1310 Lamington Road, Township of Bedminster Somerset County, New Jersey		<b>PROJECT NUMBER</b> 190369	Certificate of Authorization #2465000000	<b>Surveyors:</b> Marc J. Cifone PROFESSIONAL LAND SURVEYOR Jeffrey O. Males PROFESSIONAL LAND SURVEYOR
<b>FIELD:</b> JSG	<b>DWN BY:</b> JSG	<b>CHECKED:</b> MJC	<b>DATE:</b> 04/22/19	<b>Scale:</b> 1"=100'
<b>SHEET NO.</b> 4/4		<b>117 Hibernia Avenue   Rockaway   NJ   Ph: (973) 625-5670   Fax: (973) 625-4121</b> <b>www.LakelandSurveying.com</b>		
<b>Lakeland</b> <b>Surveying</b>		<b>Jeffrey O. Males</b> PROFESSIONAL LAND SURVEYOR LIC. No. 246504132900		



**Approved**

New Jersey Department of Environmental Protection  
 Division of Land Use Regulation

**General Notes:**

- Field Survey Performed on 03/22/19
- Subject to an accurate title search
- Subject to documents of record
- Vertical Datum: NAVD 1988
- NJ Flood Hazard Area (FHA) determined using Method 3 / FEMA Fluvial Method  
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 140.5-foot msl (NAVD1988), and the FEMA design elevations  
 for the Hoopstick Brook range from 126.1-foot msl to 107.5 msl (NAVD)  
 referenced on the 2007/2016 FEMA Maps and Profiles for Somerset Cou  
 requiring a 50-foot FHA Riparian Zone.
- Portions of the property are situated within the regulated FHA and Riparian  
 and certain activities in the FHA and Riparian Zone are regulated by the NJ  
 and some activities may be prohibited on this site or may first require  
 Consult the Division of Land Use Regulation (DLUR) at [www.nj.gov/def](http://www.nj.gov/def)  
 contact DLUR at (909)-777-0454 for more information prior to any on-

**GRAPHIC SCALE**



1 inch = 100 ft.

This survey performed by Leland Surveying, Inc., under my direct supervision, in accordance with N.J.A.C. 13:40-5.1 and to the best of my professional knowledge,  
 is the conditions found on the date of the field work. I have not made any corrections to the field notes or plat. This declaration is given solely to  
 the parties to this transaction and is not to be used for any other purpose. Survey is valid only if print has original raised seal of the undersigned professional.  
 This plan is made to provide information to the title insurer so that it may insure so that it may insure title to the lands shown hereon.

**REVISIONS**

**DESCRIPTION**

Revised FHA/Floodway labels and notes



State of New Jersey

DEPARTMENT OF ENVIRONMENTAL PROTECTION

Division of Land Use Regulation  
Mail Code 501-02A, P. O. Box 420  
Trenton, New Jersey 08625-0420

[www.state.nj.us/dep/landuse](http://www.state.nj.us/dep/landuse)



CHRIS CHRISTIE  
Governor

KIM GUADAGNO  
Lt. Governor

BOB MARTIN  
Commissioner

NOV 28 2017

James Downs  
1120 Lamington Road, LLC  
222 Ridgedale Avenue  
Cedar Knolls, New Jersey 07927

RE: Freshwater Wetlands Letter of Interpretation: Line Verification  
File No.: 1801-17-0003.1  
Activity Number: FWW170001  
Applicant: 1120 Lamington Road, LLC  
Block: 39 and Lot: 15  
Bedminster Township, Somerset County

Dear Mr. Downs:

This letter is in response to your request for a Letter of Interpretation to have Division of Land Use Regulation (Division) staff verify the boundary of the freshwater wetlands and/or State open waters on the referenced property.

In accordance with agreements between the State of New Jersey Department of Environmental Protection (NJDEP), the U.S. Army Corps of Engineers (USACOE) Philadelphia and New York Districts, and the U.S. Environmental Protection Agency (USEPA), the Division is the lead agency for establishing the extent of State and Federally regulated wetlands and waters. The USEPA and/or USACOE retain the right to reevaluate and modify the jurisdictional determination at any time should the information prove to be incomplete or inaccurate.

Based upon the information submitted, and upon a site inspection conducted by Division staff on August 3, 2017, the Division has determined that the wetlands and waters boundary line(s) as shown on the plan map entitled: **"BOUNDARY, TOPOGRAPHIC AND WETLANDS SURVEY PLAN 1120 LAMINGTON ROAD LOT 15 BLOCK 39 TOWNSHIP OF BEDMINSTER SOMERSET COUNTY NEW JERSEY"**, consisting of one sheet, dated May 3, 2017, last revised October 18, 2017, and prepared by Kurt T. Hanie, P.L.S., of Gladstone Design, Inc., is accurate as shown.

The freshwater wetlands and waters boundary line(s), as determined in this letter, must be shown on any future site development plans. The line(s) should be labeled with the above DLUR file number and the following note:

"Freshwater Wetlands/Waters Boundary Line as verified by NJDEP."

### Wetlands Resource Value Classification ("RVC")

In addition, the Division has determined that the resource value and the standard transition area or buffer required adjacent to the delineated wetlands are as follows:

Intermediate: LS-14 through LS-47; LS-48 through LS-50; LS-51 through LS-54; LS-55 through LS-62; LS-63 through LS-72; LS-73 through LS-82; . [50 foot wetland buffer]

State Open Water: SOW-1 through SOW-7, SOWA-6 through SOW A-9; SOW A-10 through SOW A-20; SOW-16 through SOW-21, SOW B-1 through SOW B-3, SOW B-4 through SOW B-22. [No wetland buffer]

The Department has identified a State open water onsite and within the wetland areas and, pursuant to Flood Hazard Area Control Act Rules (FHACAR) N.J.A.C. 7:13, a riparian zone is required along every regulated water. To determine the limits of any riparian zone on site, the applicant may obtain a Flood Hazard Area Verification (see N.J.A.C. 7:13-5.2). RVC may affect requirements for wetland and/or transition area permitting. This classification may affect the requirements for an Individual Wetlands Permit (see N.J.A.C. 7:7A-7), the types of Statewide General Permits available for the property (see N.J.A.C. 7:7A-4 & 5) and any modification available through a transition area waiver (see N.J.A.C. 7:7A-6). Please refer to the Freshwater Wetlands Protection Act (N.J.S.A. 13:9B-1 et seq.) and implementing rules for additional information.

Wetlands resource value classification is based on the best information available to the Department. The classification is subject to reevaluation at any time if additional or updated information is made available, including, but not limited to, information supplied by the applicant.

### General Information

Pursuant to the Freshwater Wetlands Protection Act Rules, you are entitled to rely upon this jurisdictional determination for a period of five years from the date of this letter unless it is determined that the letter is based on inaccurate or incomplete information. Should additional information be disclosed or discovered, the Division reserves the right to void the original letter of interpretation and issue a revised letter of interpretation.

Regulated activities proposed within a wetland, wetland transition area or water area, as defined by N.J.A.C. 7:7A-2.2 and 2.6 of the Freshwater Wetlands Protection Act rules, require a permit from this office unless specifically exempted at N.J.A.C. 7:7A-2.8. The approved plan and supporting jurisdictional limit information are now part of the Division's public records.

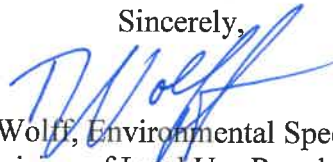
This letter in no way legalizes any fill which may have been placed, or other regulated activities which may have occurred on-site. This determination of jurisdiction extent or presence does not make a finding that wetlands or water areas are "isolated" or part of a surface water tributary system unless specifically called out in this letter as such. Furthermore, obtaining this determination does not affect your responsibility to obtain any local, State, or Federal permits which may be required.

### Appeal Process

In accordance with N.J.A.C. 7:7A-1.7, any person who is aggrieved by this decision may request a hearing within 30 days of the date the decision is published in the DEP Bulletin by writing to: New Jersey Department of Environmental Protection, Office of Legal Affairs, Attention: Adjudicatory Hearing Requests, P.O. Box 402, Trenton, NJ 08625-0402. This request must include a completed copy of the Administrative Hearing Request Checklist found at [www.state.nj.us/dep/landuse/forms](http://www.state.nj.us/dep/landuse/forms). Hearing requests received after 30 days of publication notice may be denied. The DEP Bulletin is available on the Department's website at [www.state.nj.us/dep/bulletin](http://www.state.nj.us/dep/bulletin). In addition to your hearing request, you may file a request with the Office of Dispute Resolution to engage in alternative dispute resolution. Please see the website [www.nj.gov/dep/odr](http://www.nj.gov/dep/odr) for more information on this process.

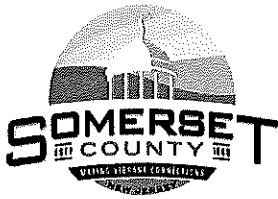
Please contact Jessica Campo of our staff by e-mail at [Jessica.Campo@dep.nj.gov](mailto:Jessica.Campo@dep.nj.gov) or by phone at (609) 633-6563 should you have any questions regarding this letter. Be sure to indicate the Department's file number in all communication.

Sincerely,



Tina Wolff, Environmental Specialist 3  
Division of Land Use Regulation

c: Municipal Clerk  
Municipal Construction Official  
Agent (original)



# COUNTY OF SOMERSET PLANNING BOARD



County Administration Building  
20 Grove Street, P.O. Box 3000  
Somerville, New Jersey 08876-1262  
(908) 231-7021 • Fax (908) 707-1749  
PlanningBd@co.somerset.nj.us  
www.co.somerset.nj.us

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Freeholder Deputy  
Director / Liaison

Matthew D. Loper  
County Engineer/  
Board Secretary

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1<sup>st</sup> Alternate

Erika J. Inocencio  
2<sup>nd</sup> Alternate

Adam Slutsky  
County Engineer Alternate

## STAFF

Walter Lane, AICP/PP  
Director of Planning

Joseph DeMarco, Esq.  
Deputy County Counsel  
for Planning

Cynthia Mellusi  
Office Manager

April 15, 2020

Carol Gutschall, Chairwoman  
Bedminster Township Land Use Board  
Municipal Building  
One Miller Lane  
Bedminster, New Jersey 07921

**RE: BEDMINSTER FARMS/BLOCK 39, LOTS 12, 15, 21  
BM 187:000-20**

Dear Ms. Gutschall:

This Office and the Office of the County Engineer have reviewed the above reference plans for a seven lot residential subdivision. The 114 acre site is located on Lamington Road (County Route 523). The reviewed information consists of a plan entitled "Bedminster Farms, Block 39; Lots 12, 15 & 21" dated January 15, 2020. Gladstone Design prepared the plan.

The County Planning Board deems this application incomplete until the requirements outlined below have been satisfactorily addressed.

### **Lamington Road (CR623) Moratorium Requirements**

Lamington Road was recently reconstructed and is under moratorium until 2020. While the County prefers to limit construction within newly paved or reconstructed roadways, it understands that there may be instances where complete enforcement of the moratorium is not practical for the good of development along its roadways. As such, the County will allow construction within the roadway and right-of-way as long as the roadway is restored to pre-construction conditions. Any disturbance of the roadway will require restoration limits to be established. Once the limits of the access points are finalized on the plan, restoration will be set forth.

### **Frontage Requirements**

As per Chapter 5, Section IV presented in the County's *Land Development Review Resolution*, a cash contribution may be accepted in lieu of the developer installing the required frontage improvements. However, after a review of this section of Lamington Road and its designation as a scenic corridor in the *Somerset County Scenic Corridor and Roadway Study*, the County is committed to preserve the existing character of the area.

- Mission Statement -

The County of Somerset is committed to excellence and innovation in public service, promoting the well-being of all residents and communities by providing effective, efficient and responsive leadership.

*Somerset County Is An Equal Opportunity Employer*

It should be noted that the aforesaid is a unique factual situation which amply justifies the waiving of the normally required frontage improvements or cash contribution in lieu of construction.

### **Access and Frontage Requirements**

A new driveway access point is shown on Lamington Road for proposed Lot 15 within the flagstaff of proposed Lot 15.01. As stated in the County's *Land Development Review Resolution Chapter 4, Section II, A 1. Residential Driveway*, "unless a driveway is a shared driveway with an adjoining lot, all driveways shall be located a minimum of 15 feet from property lines." The driveway shall be relocated to meet County standards.

It is unclear from the plan what is proposed for the existing house, walls, fencing, and access point on Lot 15. The plan shall be clearly show what is proposed at this location.

The plan shows new proposed Road "A" along Lamington Road for the access of proposed Lots 12, 12.06, 12.07, 12.08, 12.09, 15.01, 21, and 21.04. As presented in the County's *Land Development Review Resolution, Chapter 4, Section II, A. Access Requirements*, "Intersections that involve public or private roadways and County roadways shall be designed to meet the standards for intersection design as presented in the *Public Works Handbook*." The plan is to be revised to show the proposed Road "A" in accordance with County standards.

The plan shows a bridge crossing the Hoopstick Brook on proposed Lot 15.01. It is to be noted that Somerset County takes no ownership or maintenance responsibility for this structure.

Once revised plans have been received, additional requirements may be set forth.

### **Recycling**

The developer is to make a cash contribution in the amount of **\$90** (\$10.00 per new lot) to cover the cost of the recycling containers to be provided by Somerset County to each property owner. Somerset County will arrange for the curbside collection of the recyclable materials as part of the routine collection schedule.

### **Clear Sight Requirements**

The lines of sight from the proposed access drive and proposed Road "A" shall be shown on the plan in accordance with the criteria presented in the County's *Public Works Handbook*. The plan shall identify all sight obstructions and note that all sight obstructions shall be cleared.

### **Right-of-Way Requirements**

The plan currently shows a proposed right-of-way dedication of 33 feet from centerline, which is consistent with the County Master Plan since Lamington Road (CR 523) is classified as a Minor Arterial in the County Master Plan. Monuments are to be set at the new right-of-way line. The right-of-way dedication shall be recorded separately by deed in the County Clerk's Office as well as being shown on the Filed Map. A metes and bounds description of the dedication that is signed and sealed by a Professional Land Surveyor shall be submitted for review and acceptance to the Office of the County Engineer. The metes and bounds description must describe the dedicated area to the centerline of the County road. Once accepted, the signed and sealed original metes and bounds description shall be incorporated into the executed deed that transfers the right-of-way to Somerset County. The original copy of the executed deed shall be returned to this office for filing with the County Clerk. All executed deeds shall be submitted with the applicable executed resident/nonresident tax forms and tax payment as required. Specifically, P.L. 2004 c.55 requires nonresident individuals, estates and trusts that sell New Jersey real property to make an estimated New Jersey gross income tax payment on the gain from such sale. Additional information and forms are available from the Division of Taxation's website at [www.state.nj.us/treasury/taxation](http://www.state.nj.us/treasury/taxation).

### **Stormwater Management Requirements**

Since the onsite stormwater detention facilities discharge to onsite wetlands it is requested that the Township handle the review, bonding and inspection for the stormwater facilities for this application.

### **Performance Guarantee and Inspection Fee**

The applicant's engineer shall submit a cost estimate for all work to be performed within the County right-of-way. The estimate must reflect the County's unit price list. The performance guarantee and inspection fee will be calculated from the estimate.

### **Filed Map Requirements**

1. The bearing system for the final plat shall be based upon the New Jersey Plane Coordinate System. **Please note, it is required that every bearing on the Final Plat must be based on the New Jersey Plane Coordinate System. No rotation angles will be accepted.**
2. In accordance with the criteria in the County's *Land Development Review Resolution*, a minimum of two Global Positioning System (GPS) control monuments are to be set per sheet of the filed map for all major subdivisions. The County is currently developing a countywide geodetic network of GPS monuments. Therefore, it has been determined that a cash contribution is to be submitted in lieu of monument



installation. The amount of the contribution will be based on **\$3,500** per sheet to be recorded as part of the Filed Map. The actual amount of this obligation will be calculated when the paper copy of the Filed Map is submitted for review. A certified check will be required prior to the County's signature on the Final Map.

3. Prior to obtaining any signatures on the final plat, a copy is to be submitted for review and acceptance by the County.
4. Two paper copies of the final plat shall be provided to this office when it is presented for signature.
5. An appointment shall be made with the County Planning Board for the purpose of obtaining Planning Board signatures on the final plat. Please contact the Planning Board office at (908) 231-7021 to arrange a mutually agreeable time and date.
6. The filed map shall contain the following County Planning Board signature line with the municipal signatures:

This Plat complies with revised New Jersey Statutes 40:27-1 through 40:27-6.13

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Thomas R. D'Amico, Somerset County Planning Board

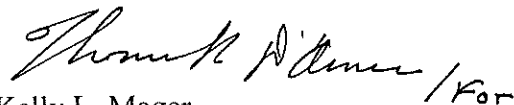
Date

This report reflects comments from the County Planning Board and the Office of the County Engineer (908) 231-7024. If you should have any questions, please contact the appropriate individual listed below.

Sincerely,



Thomas R. D'Amico, AICP/PP  
Supervising Planner



Kelly L. Mager  
Engineer, Land Development Section

cc: Bedminster Township Engineer  
1120 Lamington Road LLC and 1310, Lamington Road LLC,  
222 Ridgedale Ave., 2<sup>nd</sup> Floor, Cedar Knolls, NJ 07927  
Ronald Kennedy, P.E. Gladstone Design, P.O. Box 400, Gladstone, NJ 07934  
Michael Lavery, Esq., Lavery, Selvaggi, Abromitis & Cohen, 1001 Route 517, Hackettstown, NJ 07840



Paul W. Ferriero, PE, PP, CME, LEED AP, CFM  
Robert C. Brightly, PE, PP, CME

Steven B. Bolio, PE, CME  
Mark S. Denisiuk, PE, CME, LEED AP  
Joseph S. Kosinski, PG, CFM, LEED AP  
C. Richard Quamme, PE, CME  
Jess H. Symonds, PE

June 5, 2020 (rev)

Carol Guttschall, Chair  
Bedminster Township Land Use Board  
1 Miller Lane  
Bedminster, New Jersey 07921

Re: 1120/1310 Lamington Road LLC Major Subdivision  
Technical Review  
Block 39, Lots 12, 15, 21  
1120/1310 Lamington Road  
Our Project No. 20BD202

Dear Ms. Guttschall:

The above referenced application requests preliminary and final major subdivision and variance approval for lots 12, 15 and 21 in block 39 along Lamington Road. The proposal is to create a total of nine residential building lots. One of the parcels, lot 15, was the subject of a prior subdivision review before the Board however the conditions of the approval have never been satisfied. The following documents have been submitted in support of the application:

1. Cover letter, dated January 23, 2020, prepared by Michael Lavery, Esq.
2. Land Use Board Application, undated, prepared by Michael Lavery, Esq.
3. Checklist with waiver requests, undated and unsigned.
4. Ownership disclosure
5. Property deeds
6. Resource constraints calculations
7. Agricultural use acknowledgement
8. Environmental Review Scoping Checklist
9. Somerset County Planning Board application, dated January 24, 2020.
10. Subdivision Plans, consisting of 14 sheets, dated January 15, 2020, prepared by Ronald A. Kennedy, PE.
11. Stormwater Management Report, dated January 15, 2020, prepared by Ronald A. Kennedy, PE.
12. Boundary Survey, dated April 22, 2019, prepared by Jeffrey S. Grunn, PLS.

A review of the above documents results in the following comments for the Board's consideration:

I. Completeness Review

- A. The remaining open completeness item for the subdivision was approval by the Board of Health. The application was approved by the Board of Health, however lot 12.06 was not

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Re: 1120/1310 Lamington Road LLC Major Subdivision  
Technical Review  
Block 39, Lots 12, 15, 21  
1120/1310 Lamington Road  
Our Project No. 20BD202

approved since the septic system testing did not comply with the Township ordinances. It should be noted that The Realty Improvement Sewerage and Facilities Act prohibits the construction of any realty improvement without facilities for sanitary waste disposal. (N.J.S.A. 58:11-25) A realty improvement is defined as any structure requiring water or sewer service. Based on this, the application should only be considered if lot 12.06 is shown as part of lot 12.07 and the subdivision proposal is for only seven lots instead of the eight shown on the plans. While additional soil testing and a subsequent application to the Board of Health may yield acceptable results on what is designated as lot 12.06, it should not be shown as part of this subdivision. A future application would be required.

- B. Assuming the subdivision is for a total of eight lots, and subject to the waivers requests identified in the February 15, 2020 letter from this office, the application may be deemed complete.
- C. A photo overlay of the subdivision is attached to this letter.

## II. Subdivision Plans

### A. Sheet 1 – Project Data/Vicinity Plan

1. The general notes indicate that a letter of interpretation is required for lots 12 and 21. The plans also show the limits of the Flood Hazard Area of both the Middle Brook and Hoopstick Brook. Any approval by the Board should include a condition that the LOI and a FHA verification be issued. The status of these applications should be provided to the Board.
2. The notes indicate that individual lot development plans will be prepared for each lot when developed. These must be designed to major development stormwater management standards since the overall project is a major development. This requirement should be a condition in any approval.
3. Note 26 states that the base course of paving will be installed prior to the issuance of the first certificate of occupancy. The means by which the roadway (all pavement), drainage, etc. will be completed needs to be identified.
4. Under the current MLUL, the Township cannot require a performance bond on the improvements if they are not to be dedicated to the municipality. The plans are for a private road and it does not appear the Township can require a performance bond for the roadway or its associated drainage improvements. Without the ability to bond the improvements, all improvements must be installed prior to the signing of the filed map.
5. The zoning table should include the additional front yard setback requirement applicable to lots greater than 10 acres in size “In no case less than 3' setback for every 1' of width of principal building for lots 10 acres and greater in size”.
6. The zoning table should include the combined side yard setback requirement (50% of lot width).
7. The lot layouts (areas etc.) are different on the preliminary and final subdivision plats (which coincides with the zoning table on the cover sheet) than are depicted on the site

Re: 1120/1310 Lamington Road LLC Major Subdivision  
Technical Review  
Block 39, Lots 12, 15, 21  
1120/1310 Lamington Road  
Our Project No. 20BD202

- dimension plan (preferred layout). The applicant should confirm the difference is due to the area of the private road is included with the individual lot areas on the preferred layout.
8. Based on the list of variances, proposed lots 15, 21 and 21.04 are not fully compliant with the Township Land Management Ordinance.
  9. The Resource Constraints calculations indicate that the lot yield from lot 12 is 1.73 lots and the yield from lot 21 is 5.05 lots. Lot 15 is not included in the resource constraints calculations however it is included in the subdivision. It is recommended that lot 15 be added to these calculations to evaluate the development potential of the overall tract based on the resource constraints ordinance.
  10. The resource constraints calculations do not show any area for conservation easements, however lot 12 has a significant conservation easement on it. Clarification is required.

B. Sheets 2 and 3 – Existing Conditions and Environmental Constraints Map – No comments

C. Sheets 4 and 5 – Preliminary and Final Subdivision Plat

1. All outbound monuments are to be set prior the signing of the final plat.
2. The map will need to be signed by the applicant prior to submission for signature.
3. The surveyor certifications on the maps will need to be signed before they are presented for signature.
4. Lot closure calculations and descriptions must be approved for the private road, all lots and easements prior to signing of the maps.
5. All easement language must be approved by the Board/Township attorney prior to the signing of the maps.
6. The notes need to be updated when the LOI/FHA verifications are received.
7. Note 14 indicates the lot numbers are to be approved by the Tax Assessor. This must be completed before the map is presented for signature and the note should be removed at that time.
8. As noted above, lot 12.06 needs to be removed from plans and joined with 12.07. The lot area summary will need to be revised accordingly.
9. The spelling of the name of the Board Secretary must be corrected. (DeLeon)
10. The setbacks to the existing buildings on lot 21 to the private road right of way need to be shown on the plans.
11. There is a structure on lot 21 that is labeled as a “guest house”. If this is a second dwelling, it must either comply with the condition use standard for an accessory dwelling unit, or be a valid, pre-existing, non-conforming use. If it is pre-existing and non-conforming, a D variance is likely required since the lot on which it is located is being made smaller and therefore it is an intensification of a non-conforming use. Alternatively, the structure can be removed.

Re: 1120/1310 Lamington Road LLC Major Subdivision

Technical Review

Block 39, Lots 12, 15, 21

1120/1310 Lamington Road

Our Project No. 20BD202

D. Sheets 6 and 7 – Site Dimension Plan (Preferred Layout)

1. The 20 foot curb radii where the private road intersects with Lamington Road should be widened to 25 feet to be consistent with RSIS design criteria (table 4.6).
2. It appears that all individual lots will be major developments under the stormwater standards. Each lot will have to be designed accordingly when the lot development plans are submitted.
3. The septic system for the existing building appears to be on lot proposed lot 21.04. The new system for remaining lot 21 must be constructed prior to the filing of the map.
4. The plan should note that all proposed utilities are to be underground.

E. Sheets 8 and 9 – Grading, Drainage and Utility Plan

1. The bio-retention basins are depicted at 1"=100'. Larger scale grading plans for each of the basins are needed to confirm design parameters. 1" = 30' minimum scale plans are recommended.
2. It is recommended that all sections of the private road be constructed with a crown. This will improve the drainage characteristics of the road by reducing the sheet flow across it. This will require the installation of some additional stormwater improvements to convey runoff across the street.
3. The existing structures to be removed should be removed completely below grade and backfilled with structural fill. The existing well and septic for the dwelling on Remaining Lot 15 will need to be abandoned in accordance with NJDEP requirements.
4. The two proposed culverts and the bio-retention basin outlets (basins #4, 5, 6 and 9) will require permits from the NJDEP and any approval should be subject to those permits.
5. The toe of slope for the proposed bio-retention basins (4, 5 & 6) should be indicated. It appears the grading may extend into the wetland buffers for some of these basins, which would require approval from NJDEP.
6. The plans depict a septic structure on proposed lot 21.04. Additional information should be provided regarding the existing septic structure. The extent of the existing septic system should be completely removed and backfilled with structural fill material (within the private road area). Any material from the old system will need to be disposed of in accordance with NJDEP requirements.
7. An inlet will be required on the westerly side of the private road (station 9+25?) adjacent to basin #5 in order for the roadway swale to be directed to the basin as indicated on the post developed drainage area map.
8. Correct the 5' weir invert within the control structure for basin #6.
9. The proposed grading of basin #9 needs to tie into the existing 134 contour.

F. Sheets 10 and 11 – Soil Erosion & Sediment Control Plan

1. These plans will need to be certified by the Somerset-Union Soil Conservation District.

Re: 1120/1310 Lamington Road LLC Major Subdivision  
Technical Review  
Block 39, Lots 12, 15, 21  
1120/1310 Lamington Road  
Our Project No. 20BD202

G. Sheet 12 – Driveway Profiles (Preferred Layout)

1. As noted previously, the road grading should be modified to create a crowned section.

H. Sheets 13 and 14 – Construction Details

1. Additional information needs to be provided on how the proposed 12' weir within outlet structure #6 will be constructed.
2. There are two bio-retention basin detail; one with an underdrain and one without an underdrain. The basins that will have underdrains should be identified.
3. As noted above, 1"=30' plans should be provided for the bioretention basins.
4. Revise the sand content within the planting bed in the bio-retention basin details to be consistent with Chapter 9.1 of the BMP Manual. The specification for the sand layer should be provided. Also confirm whether the bottom layer of filter fabric will restrict infiltration into the subsoil for the basins that do not have underdrains.
5. Correct the spillway elevation for Basin #6 within the spillway detail.

I. Site Dimension Plan (Conventional Layout) Sheets 1-2 of 3

1. Any variances associated with the conventional layout should be described by the applicant's engineer. For example, it appears remaining lot 21 will require variances and therefor this is not a "conforming" layout.
2. While the plan arguably shows geometry that mostly complies with the ordinance, some of the aspects of the layout do not comply with realistic design. The proposed cul de sac on the road right of way, which provides frontage for four of the lots, is located entirely within the wetlands and would not be permissible by NJDEP regulations. The lots do not use this area for access, however lots 12.06, 12.07 and 12.08 only have access through adjoining lots with the "actual" cul de sac located on portions of lots 12.07, 12.08 and 12.09.

J. Driveway Profiles (Conventional Layout) Sheet 3 of 3 – No comments

K. Sight Distance Plan & Profile (Sheets 1-2 of 2) – No comments

III. Stormwater Management

A. Stormwater Management Report

1. The hydrologic soil group for each of the soils should be added to the soil descriptions within the report (page 2).
2. The coverage summary on sheet 1 of the subdivision plans indicates 2.35 acres of impervious coverage associated with the proposed private road and existing lot improvements on Lot 21 that are to remain. The analysis in the stormwater report

Re: 1120/1310 Lamington Road LLC Major Subdivision  
Technical Review  
Block 39, Lots 12, 15, 21  
1120/1310 Lamington Road  
Our Project No. 20BD202

- indicates 1.9 acres of impervious coverage was used in post developed conditions. The post developed analysis should be revised to be consistent with the coverage included in the coverage summary.
3. The post developed drainage analysis does not include the proposed lot improvements. It appears the intent of the analysis at POS A (drainage area 1) is for the post developed hydrograph to meet or be beneath the existing. The existing improvements associated with remaining Lot 15 were not included within the analysis. The timing of when these improvements will be removed should be provided, or the improvements should be included within the post developed analysis. Also, once detention improvements are incorporated into the design of the proposed lot development plans, a shift in the hydrograph will be likely. It is also noted that the summary tables depict a slight increase in the post developed 100 year storm runoff over what is allowed.
  4. Additional topography should be provided to confirm the middle drainage divide that separates areas #1 and #2. The topography provided on the drainage area maps in conjunction with the USGS map in the report (Figure 2) does not provide enough information. Based on the information provided, it does not appear the portion of drainage area #2 north of dwelling on Lot 21 would be tributary to drainage area #2. Additional information needs to be provided to confirm the areas (since under post developed conditions, this area is shown as being within drainage area #6 which is tributary to proposed bio-retention basin #6).
  5. Consideration should be given to breaking up EDA#2 into smaller sub areas. Under post developed conditions (with smaller drainage areas), the average runoff curve number is lower than the same area that was used within the existing condition (ie the overall existing drainage area is modeled with an average CN of 72 while post developed conditions utilize a curve number of 71 for some of the subareas where these subareas have the same (undisturbed) vegetated cover as existing conditions; in effect, the post developed coverage results in less runoff than the existing condition even though the land cover is the same for these smaller areas).
  6. The time of concentration segment BC for EDA#2 (shown on the drainage area map) is substantially longer than the 220' used within the calculation.
  7. It is recommended that a second analysis point be added within drainage area #1 where the Hoopstick Brook crosses the easterly property line of proposed lot 15.01.
  8. It is noted the analysis to POS B (and to a lesser extent POS C) is based in part on detention being provided for offsite areas. If there is a change in the offsite conditions (as a result of future development), it is unknown how this may impact the

Re: 1120/1310 Lamington Road LLC Major Subdivision  
Technical Review  
Block 39, Lots 12, 15, 21  
1120/1310 Lamington Road  
Our Project No. 20BD202

- design. Consideration to bypassing the offsite areas around the proposed basins, to the greatest extent feasible, should be investigated.
9. The post developed drainage boundary line for DA#2 should run along the edge of pavement along the private road based on the proposed grading verses being approximately 15' off the edge of pavement. The drainage boundary should be revised.
  10. Based on the proposed grading, not all of the area on the south side of the private roadway will be tributary to basin #7. The drainage boundary should be revised.
  11. It appears the existing wetlands located at the corner of the private road (adjacent to basin #6) may be partially tributary to Basins #6 and #7. The Engineer should confirm the drainage boundaries in the area.
  12. The majority of the area on the north side of the private road appears to be tributary to the culvert and not to Basin #8 based on the proposed grading. The drainage boundary should be revised.
  13. It is not clear how water quality will be addressed for the individual lots. The concept improvements depict drywells which cannot be used to treat for water quality.
  14. A groundwater mounding analysis needs to be provided for the bio-retention basins that will infiltrate.
  15. The bio-retention basin outlet pipes need to be modeled within the routing calculations to ensure they do not control runoff through the control structures (basins 4, 6 and 9 specifically).
  16. The proposed runoff volume before infiltration within the groundwater recharge table on Page 6 of the report does not appear to be consistent with the volume within Appendix B3 (18.329 ac-ft verses 17.024 ac-ft) of the report. Clarification is required.
  17. The top of berm for basins #4 and #5 appear to be lower based on the grading plans than is listed on the plan and used within the calculations.
  18. The engineer shall confirm all of the basins have minimum berm widths and freeboard in accordance with RSIS, and NJDEP Dam Safety for those basins which meet the classification of a dam.
  19. The peak times depicted within the pond drawdown chart (Appendix C-3 time vs. elevation summary) does not match the peak times in the routing (Page 2 of 99; Section C-1) for the water quality storm.
  20. Basin #4 appears to empty at 40.08 hours (verses 50.05 hours within the pond drawdown chart) for the 100 year storm event.
  21. The 100 year routed peak water elevation is above the emergency spillway crest within Basin #9.



Re: 1120/1310 Lamington Road LLC Major Subdivision  
Technical Review  
Block 39, Lots 12, 15, 21  
1120/1310 Lamington Road  
Our Project No. 20BD202

22. The emergency spillway analysis utilized 11.3 inches of runoff (in 24 hours) where the 100 year plus 50% would result in 12.3 inches of runoff (using 100 year storm of 8.2 inches in 24 hours).
23. The peak outflow rates are based on an interpolated flow rate whereas they should be based upon the computed rates in the analysis. The summaries should be revised.
24. The computational time increment within the unit hydrographs varies with the different drainage areas. Additional information for the computer software being utilized should be provided. It is not clear why a consistent time increment would not be used.
25. The low impact development checklist at section 3.2B indicates that permanent site disturbance is being restricted as part of the current application, with the reasoning being that any additional disturbance will require additional approval from the Township of Bedminster. It is not clear how this would meet a restriction on permanent site disturbance. It is recommended that areas that have been modeled in post developed conditions as woods and or meadow be restricted against development since these areas have a lower runoff potential than would lawns and impervious areas associated with single family homes. The grading plans should depict a maximum grading limit for each lot so that these areas could be quantified.
26. The reasoning included within the low impact development checklist at section 3.2E and 3.3G do not appear to be applicable since reducing the setbacks and shortening the driveways have no bearing on the development of the private road and associated improvements. Clarification is required.
27. As currently designed, each lot development will need to be designed as a major stormwater development that follows the framework of the overall site analysis (ie each lot should not be submitted as its own individual project, but should include the remainder of the site as well, to confirm that the addition of the different hydrographs for the different phases of the project still meet the requirements for the overall site). This should be addressed in the individual lot deeds in the event that different engineers are utilized to develop the individual lot improvements. Alternatively, the current analysis could be designed to incorporate stormwater improvements based on maximum permitted lot coverages and disturbance.
28. A separate map depicting the location of the soil testing being utilized for the drainage analysis should be provided.
29. It appears that some of the proposed bio-retention basins are located closer in proximity to wetlands than where the soil testing was taken being utilized for the drainage analysis. As a result, design assumptions (infiltration, depth to groundwater) used within the analysis cannot be confirmed at this time.

Re: 1120/1310 Lamington Road LLC Major Subdivision  
Technical Review  
Block 39, Lots 12, 15, 21  
1120/1310 Lamington Road  
Our Project No. 20BD202

30. The depth to the first low level outlet in basin #6 needs to be lowered to the routed elevation of the water quality storm event (approximately 128.65'). The current low level outlet is set at elevation 129.20'. This will result in greater than the volume of the water quality design storm being infiltrated, which is the maximum allowed per the NJDEP BMP Manual.
31. The applicant indicates additional soil testing will be undertaken within the footprints of the bio-retention basins in accordance with Appendix E of the NJDEP BMP Manual. This testing should be done prior to signing of the subdivision map or the construction of the road.
32. The storm sewer analysis is based on the 25 year design storm. The 100 year storm event needs to be analyzed to confirm the 100 year storm runoff will reach the basins. Hydraulic grade line calculations should be included within the analysis.
33. Swale conveyance calculations need to be provided in the report.
34. An Operations and Maintenance (O&M) manual for the private road and the associated drainage improvements will need to be submitted for review and approval.
35. Individual O&M manuals will need to be prepared for each lot as they are developed.
36. Compliance with the O&M manuals should be included as a deed notice for all lots.

I trust the above comments are useful to the Board in its review of the application.

Very truly yours,



Paul W. Ferriero, PE, CME  
Township Engineer

cc: Board Members  
Thomas Collins, Esq.  
Frank Banisch, PP/AICP  
Ronald A. Kennedy, PE



Paul W. Ferriero, PE, PP, CME, LEED AP, CFM  
Robert C. Brightly, PE, PP, CME

Steven B. Bolio, PE, CME  
Mark S. Denisiuk, PE, CME, LEED AP  
Joseph S. Kosinski, PG, CFM, LEED AP  
C. Richard Quamme, PE, CME  
Jess H. Symonds, PE

October 26, 2020

Carol Guttschall, Chair  
Bedminster Township Land Use Board  
1 Miller Lane  
Bedminster, New Jersey 07921

Re: 1120/1310 Lamington Road LLC Major Subdivision  
Technical Review  
Block 39, Lots 12, 15, 19 and 21  
1120/1310 Lamington Road  
Our Project No. 20BD202

Dear Ms. Guttschall:

The above referenced application requests preliminary and final major subdivision and variance approval for lots 12, 15, 19 and 21 in block 39 along Lamington Road. Revised plans have been submitted which show a total of eight lots to be created from the four existing parcels. One of the parcels, lot 15, was the subject of a prior subdivision review before the Board however the conditions of the approval have never been satisfied. The following revised documents have been submitted in support of the application:

1. Cover letter, dated August 3, 2020, prepared by Matt Draheim, LA.
2. Subdivision Plans, partial set, consisting of sheets 14 sheets, revised through August 28, 2020, prepared by Ronald A. Kennedy, PE.
3. Alternate Layout, consisting of two sheets revised through August 28, 2020, prepared by Ronald A. Kennedy, PE.
4. Resource Constraints Calculations

A review of the above documents results in the following comments for the Board's consideration:

I. General

- A. The index on the first sheet of the plans indicates that sheets 4 and 5 (final plat sheets 1 and 2) were not submitted. These plans were, however, included in the plan set. They are not being reviewed since they do not correspond to either of the subdivision layouts presented in the rest of the drawings.
- B. No revisions have been submitted to address the previous stormwater review comments. The applicant's engineer would need to address those comments, as well as any that might be generated as a result of the revised plan, as a condition of any approval by the Board.

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Re: 1120/1310 Lamington Road LLC Major Subdivision  
Technical Review  
Block 39, Lots 12, 15, 19 and 21  
1120/1310 Lamington Road  
Our Project No. 20BD202

## II. Subdivision Plans

### A. Sheet 1 – Project Data/Vicinity Plan

1. The notes indicate that individual lot development plans will be prepared for each lot when developed. These must be designed to major development stormwater management standards since the overall project is a major development. This requirement should be a condition in any approval.
2. Note 26 states has been modified to state that the final paving and all common improvements are to be installed before the final certificate of occupancy for the principal residential structures, but no later than five years from the start of construction. This should be a condition of any approval by the Board and included in a developer's agreement.
3. The cover letter indicates that the applicant will voluntarily post a performance bond for the roadway and drainage improvements. If this is acceptable to the Board, it should be a condition of any approval that is granted and in a developer's agreement.
4. Based on the list of variances, remaining lots 15 and 21 are not fully compliant with the Township Land Management Ordinance.

### B. Sheets 2 and 3 – Existing Conditions and Environmental Constraints Map – No comments

### C. Sheets 4 and 5 – Preliminary and Final Subdivision Plat – NO REVISIONS PROVIDED – THE PLANS WILL NEED TO BE UPDATED TO ADDRESS THE PRIOR COMMENTS AS APPLICABLE AND THE LATEST SITE DIMENSION PLAN

1. All outbound monuments are to be set prior the signing of the final plat.
2. The map will need to be signed by the applicant prior to submission for signature.
3. The surveyor certifications on the maps will need to be signed before they are presented for signature.
4. Lot closure calculations and descriptions must be approved for the private road, all lots and easements prior to signing of the maps.
5. All easement language must be approved by the Board/Township attorney prior to the signing of the maps.
6. The notes need to be updated when the LOI/FHA verifications are received.
7. Note 14 indicates the lot numbers are to be approved by the Tax Assessor. This must be completed before the map is presented for signature and the note should be removed at that time.
8. As noted above, lot 12.06 needs to be removed from plans and joined with 12.07. The lot area summary will need to be revised accordingly.
9. The spelling of the name of the Board Secretary must be corrected. (DeLeon)
10. The setbacks to the existing buildings on lot 21 to the private road right of way need to be shown on the plans.

Re: 1120/1310 Lamington Road LLC Major Subdivision  
Technical Review  
Block 39, Lots 12, 15, 19 and 21  
1120/1310 Lamington Road  
Our Project No. 20BD202

11. There is a structure on lot 21 that is labeled as a “guest house”. If this is a second dwelling, it must either comply with the condition use standard for an accessory dwelling unit, or be a valid, pre-existing, non-conforming use. If it is pre-existing and non-conforming, a D variance is likely required since the lot on which it is located is being made smaller and therefore it is an intensification of a non-conforming use. Alternatively, the structure can be removed.

D. Sheets 6 and 7 – Site Dimension Plan (Preferred Layout)

1. It appears that all individual lots will be major developments under the stormwater standards. Each lot will have to be designed accordingly when the lot development plans are submitted.
2. The layout shows the right of way for the private road as a separate lot which will be owned and maintained by the homeowners’ association.

E. Sheets 8 and 9 – Grading, Drainage and Utility Plan

1. The bio-retention basins are depicted at 1”=100’. Larger scale grading plans for each of the basins are needed to confirm design parameters. 1” = 30’ minimum scale plans are recommended.
2. Any resolution should include a condition that any approval is subject to obtaining all NJDPE permits.
3. The grading plan will be reviewed in detail when a revised stormwater management report is submitted.

F. Sheets 10 and 11 – Soil Erosion & Sediment Control Plan

1. These plans will need to be certified by the Somerset-Union Soil Conservation District.

G. Sheet 12 – Driveway Profiles (Preferred Layout) – No comments

H. Sheets 13 and 14 – Construction Details **NO REVISIONS PROVIDED**

1. Additional information needs to be provided on how the proposed 12’ weir within outlet structure #6 will be constructed.
2. As noted above, 1”=30’ plans should be provided for the bioretention basins.
3. Revise the sand content within the planting bed in the bio-retention basin details to be consistent with Chapter 9.1 of the BMP Manual. The specification for the sand layer should be provided. Also confirm whether the bottom layer of filter fabric will restrict infiltration into the subsoil for the basins that do not have underdrains.
4. Correct the spillway elevation for Basin #6 within the spillway detail.

Re: 1120/1310 Lamington Road LLC Major Subdivision  
Technical Review  
Block 39, Lots 12, 15, 19 and 21  
1120/1310 Lamington Road  
Our Project No. 20BD202

I. Site Dimension Plan (Alternative Layout) Sheets 1-2 of 3

1. The alternative layout shows modifications to the “preferred” layout that shifts the access road to the east. The result is that proposed lot 21 will have a gross lot area in excess of 10 acres, however the lot is irregularly shaped.
2. The proposal is not “variance free” in that lot 21 does not meet the minimum 500’ circle requirement.

III. Resource Constraint Calculations

- A. The overall tract resource constraint calculations show an “as of right” lot yield of 7 lots. If the four existing parcels are taken individually, the ordinance requires that each lot be “rounded down” and the total of the four would be 6 lots. Notably relief was granted for lot 15 to allow two lots although the resource constraints yield would be one.
- B. The tract yield calculation for lot 15 increased from 1.58 to 1.65 since the last submission. This seems to be based on an increase in the gross tract area from 21.73 acres to 22.38 acres. The discrepancy should be addressed.
- C. On an individual lot basis, the table below shows the required gross lot area for each proposed lot according to the resource constraints calculations as well as the gross lot area provided.

Proposed Lot	Required Area	Proposed Area	Compliance
Remaining 12	23.65 Ac	20.847 Ac	No
Prop. 12.06	17.82 Ac	18.015 Ac	Yes
Prop. 12.07	15.76 Ac	16.811 Ac	Yes
Prop. 12.08	11.40 Ac	12.428 Ac	Yes
Remaining 15	12.15 Ac	10.890 Ac	No
Prop. 15.01	13.73 Ac	10.837 Ac	No
Remaining 19	23.88 Ac	23.788 Ac	No
Remaining 21	10.51 Ac	7.772 Ac	No

Based on the above, three of the eight proposed lots comply with the resource constraints standards. The cover sheet of the drawings notes that relief is requested for remaining lot 12, remaining lot 15 and new lot 15.01. Relief is also required for remaining lots 19 and 21. This is in addition to the minimum lot area variance required for remaining lot 21.

No resource constraints calculations have been submitted for the Alternative Layout, however it does not appear that more than 3 of the proposed lots will comply.

Re: 1120/1310 Lamington Road LLC Major Subdivision  
Technical Review  
Block 39, Lots 12, 15, 19 and 21  
1120/1310 Lamington Road  
Our Project No. 20BD202

#### IV. Agricultural and Environmental Outline

- A. The report outlines a vision for the development in an effort to demonstrate that, notwithstanding the non-complying lots identified above, the proposal advances various purposes of the Master Plan. The applicant should identify how the significant restrictions on everything from architecture to the types of crops will be restricted on the lots and enforced. While deed restrictions on elements such as the residential farmhouse exception seem fairly routine, other restrictions such as regenerative agriculture and net zero building design seem more challenging. These concepts are not only difficult to define and quantify, they are difficult to enforce over time.
- B. The plan indicates that the association fees will not only pay for roadway and drainage maintenance, they will support the operating farm budget. The budget and funding need to be reviewed to ensure there are adequate funds available for both of these objectives. All association documents should be reviewed by the Board and Township Attorneys. The Board may want to consider a review of a pro forma analysis of the costs be provided to demonstrate the viability of the concept.
- C. The vision goals include “yoga and farm community events and outdoor activity and education”. Is the intent for these activities to be restricted to the residents of the community or will the public be invited to these events? If the public is invited, size limitations may be appropriate based on the limited available parking.

I trust the above comments are useful to the Board in its review of the application.

Very truly yours,



Paul W. Ferriero, PE, CME  
Township Engineer

cc: Board Members  
Thomas Collins, Esq.  
Frank Banisch, PP/AICP  
Ronald A. Kennedy, PE



Paul W. Ferriero, PE, PP, CME, LEED AP, CFM  
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Steven B. Bolio, PE, CME  
Mark S. Denisiuk, PE, CME, LEED AP  
Joseph S. Kosinski, PG, CFM, LEED AP  
C. Richard Quamme, PE, CME  
Jess H. Symonds, PE

July 8, 2020

Carol Guttschall, Chair  
Bedminster Township Land Use Board  
1 Miller Lane  
Bedminster, New Jersey 07921

Re: 1120/1310 Lamington Road LLC Major Subdivision  
Technical Review  
Block 39, Lots 12, 15, 21  
1120/1310 Lamington Road  
Our Project No. 20BD202

Dear Ms. Guttschall:

The above referenced application requests preliminary and final major subdivision and variance approval for lots 12, 15 and 21 in block 39 along Lamington Road. Revised plans have been submitted which show a total of eight lots to be created from the three existing parcels. One of the lots is proposed to be resubdivided after the soil testing is approved by the Board of Health. One of the parcels, lot 15, was the subject of a prior subdivision review before the Board however the conditions of the approval have never been satisfied. The following revised documents have been submitted in support of the application:

1. Cover letter, dated June 26, 2020, prepared by Michael Lavery, Esq.
2. Cover letter, dated June 29, 2020, prepared by Matt Draheim, LA.
3. Subdivision Plans, partial set, consisting of sheets 1-3, 6-9 and 12-14, revised through June 26, 2020, prepared by Ronald A. Kennedy, PE.
4. County Road Plans, consisting of two sheets revised through June 26, 2020, prepared by Ronald A. Kennedy, PE.
5. Resource Constraints Calculations
6. Agricultural and Environmental Outline
7. Agricultural Concept Rendering, dated June 25, 2020
8. Sample Farm House Plan

A review of the above documents results in the following comments for the Board's consideration:

I. Subdivision Plans

A. Sheet 1 – Project Data/Vicinity Plan

1. The notes indicate that individual lot development plans will be prepared for each lot when developed. These must be designed to major development stormwater

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Re: 1120/1310 Lamington Road LLC Major Subdivision  
Technical Review  
Block 39, Lots 12, 15, 21  
1120/1310 Lamington Road  
Our Project No. 20BD202

- management standards since the overall project is a major development. This requirement should be a condition in any approval.
2. Note 26 states has been modified to state that the final paving and all common improvements are to be installed before the final certificate of occupancy. This should be discussed in greater detail. First, the “final certificate of occupancy” should be for the residential structures. Accessory buildings could be installed at any time. Second, it is recommended that there be a time limit by which the final pavement and all common improvements are installed. Finally, all drainage improvements for the roadway should be completed before the first residential certificate of occupancy.
  3. The cover letter indicates that the applicant will voluntarily post a performance bond for the roadway and drainage improvements. If this is acceptable to the Board, it should be a condition of any approval that is granted.
  4. Note 2 under the zoning table should be corrected to state “every” instead of “ever”.
  5. Based on the list of variances, proposed lots 15 and 21 are not fully compliant with the Township Land Management Ordinance.
  6. The Resource Constraints calculations indicate that the lot yield from lot 12 is 1.73 lots and the yield from lot 21 is 5.05 lots. Lot 15 is not included in the resource constraints calculations however it is included in the subdivision. It is recommended that lot 15 be added to these calculations to evaluate the development potential of the overall tract based on the resource constraints ordinance.

B. Sheets 2 and 3 – Existing Conditions and Environmental Constraints Map – No comments

C. Sheets 4 and 5 – Preliminary and Final Subdivision Plat – NO REVISIONS PROVIDED

1. All outbound monuments are to be set prior the signing of the final plat.
2. The map will need to be signed by the applicant prior to submission for signature.
3. The surveyor certifications on the maps will need to be signed before they are presented for signature.
4. Lot closure calculations and descriptions must be approved for the private road, all lots and easements prior to signing of the maps.
5. All easement language must be approved by the Board/Township attorney prior to the signing of the maps.
6. The notes need to be updated when the LOI/FHA verifications are received.
7. Note 14 indicates the lot numbers are to be approved by the Tax Assessor. This must be completed before the map is presented for signature and the note should be removed at that time.
8. As noted above, lot 12.06 needs to be removed from plans and joined with 12.07. The lot area summary will need to be revised accordingly.
9. The spelling of the name of the Board Secretary must be corrected. (DeLeon)

Re: 1120/1310 Lamington Road LLC Major Subdivision

Technical Review

Block 39, Lots 12, 15, 21

1120/1310 Lamington Road

Our Project No. 20BD202

10. The setbacks to the existing buildings on lot 21 to the private road right of way need to be shown on the plans.

11. There is a structure on lot 21 that is labeled as a “guest house”. If this is a second dwelling, it must either comply with the condition use standard for an accessory dwelling unit, or be a valid, pre-existing, non-conforming use. If it is pre-existing and non-conforming, a D variance is likely required since the lot on which it is located is being made smaller and therefore it is an intensification of a non-conforming use. Alternatively, the structure can be removed.

D. Sheets 6 and 7 – Site Dimension Plan (Preferred Layout)

1. It appears that all individual lots will be major developments under the stormwater standards. Each lot will have to be designed accordingly when the lot development plans are submitted.
2. The septic system for the existing building appears to be on lot proposed lot 21.04. The new system for remaining lot 21 must be constructed prior to the filing of the map.

E. Sheets 8 and 9 – Grading, Drainage and Utility Plan

1. The bio-retention basins are depicted at 1”=100’. Larger scale grading plans for each of the basins are needed to confirm design parameters. 1” = 30’ minimum scale plans are recommended.
2. The two proposed culverts and the bio-retention basin outlets (basins #4, 5, 6 and 9) will require permits from the NJDEP and any approval should be subject to those permits.
3. The toe of slope for the proposed bio-retention basins (4, 5 & 6) should be indicated. It appears the grading may extend into the wetland buffers for some of these basins, which would require approval from NJDEP.
4. An inlet will be required on the westerly side of the private road (station 9+25?) adjacent to basin #5 in order for the roadway swale to be directed to the basin as indicated on the post developed drainage area map.
5. Correct the 5’ weir invert within the control structure for basin #6.

F. Sheets 10 and 11 – Soil Erosion & Sediment Control Plan

1. These plans will need to be certified by the Somerset-Union Soil Conservation District.

G. Sheet 12 – Driveway Profiles (Preferred Layout) – No comments

H. Sheets 13 and 14 – Construction Details

1. Additional information needs to be provided on how the proposed 12’ weir within outlet structure #6 will be constructed.
2. As noted above, 1”=30’ plans should be provided for the bioretention basins.

Re: 1120/1310 Lamington Road LLC Major Subdivision  
Technical Review  
Block 39, Lots 12, 15, 21  
1120/1310 Lamington Road  
Our Project No. 20BD202

3. Revise the sand content within the planting bed in the bio-retention basin details to be consistent with Chapter 9.1 of the BMP Manual. The specification for the sand layer should be provided. Also confirm whether the bottom layer of filter fabric will restrict infiltration into the subsoil for the basins that do not have underdrains.
  4. Correct the spillway elevation for Basin #6 within the spillway detail.
- I. Site Dimension Plan (Conventional Layout) Sheets 1-2 of 3 – NO REVISIONS PROVIDED
1. Any variances associated with the conventional layout should be described by the applicant's engineer. For example, it appears remaining lot 21 will require variances and therefore this is not a "conforming" layout.
  2. While the plan arguably shows geometry that mostly complies with the ordinance, some of the aspects of the layout do not comply with realistic design. The proposed cul de sac on the road right of way, which provides frontage for four of the lots, is located entirely within the wetlands and would not be permissible by NJDEP regulations. The lots do not use this area for access, however lots 12.06, 12.07 and 12.08 only have access through adjoining lots with the "actual" cul de sac located on portions of lots 12.07, 12.08 and 12.09.
- J. Driveway Profiles (Conventional Layout) Sheet 3 of 3 – No comments
- K. Sight Distance Plan & Profile (Sheets 1-2 of 2) – No comments
- II. Stormwater Management – NO RESPONSE PROVIDED
- A. Stormwater Management Report
1. The hydrologic soil group for each of the soils should be added to the soil descriptions within the report (page 2).
  2. The coverage summary on sheet 1 of the subdivision plans indicates 2.35 acres of impervious coverage associated with the proposed private road and existing lot improvements on Lot 21 that are to remain. The analysis in the stormwater report indicates 1.9 acres of impervious coverage was used in post developed conditions. The post developed analysis should be revised to be consistent with the coverage included in the coverage summary.
  3. The post developed drainage analysis does not include the proposed lot improvements. It appears the intent of the analysis at POS A (drainage area 1) is for the post developed hydrograph to meet or be beneath the existing. The existing improvements associated with remaining Lot 15 were not included within the analysis. The timing of when these improvements will be removed should be provided, or the improvements should be included within the post developed analysis.

Re: 1120/1310 Lamington Road LLC Major Subdivision  
Technical Review  
Block 39, Lots 12, 15, 21  
1120/1310 Lamington Road  
Our Project No. 20BD202

- Also, once detention improvements are incorporated into the design of the proposed lot development plans, a shift in the hydrograph will be likely. It is also noted that the summary tables depict a slight increase in the post developed 100 year storm runoff over what is allowed.
4. Additional topography should be provided to confirm the middle drainage divide that separates areas #1 and #2. The topography provided on the drainage area maps in conjunction with the USGS map in the report (Figure 2) does not provide enough information. Based on the information provided, it does not appear the portion of drainage area #2 north of dwelling on Lot 21 would be tributary to drainage area #2. Additional information needs to be provided to confirm the areas (since under post developed conditions, this area is shown as being within drainage area #6 which is tributary to proposed bio-retention basin #6).
  5. Consideration should be given to breaking up EDA#2 into smaller sub areas. Under post developed conditions (with smaller drainage areas), the average runoff curve number is lower than the same area that was used within the existing condition (ie the overall existing drainage area is modeled with an average CN of 72 while post developed conditions utilize a curve number of 71 for some of the subareas where these subareas have the same (undisturbed) vegetated cover as existing conditions; in effect, the post developed coverage results in less runoff than the existing condition even though the land cover is the same for these smaller areas).
  6. The time of concentration segment BC for EDA#2 (shown on the drainage area map) is substantially longer than the 220' used within the calculation.
  7. It is recommended that a second analysis point be added within drainage area #1 where the Hoopstick Brook crosses the easterly property line of proposed lot 15.01.
  8. It is noted the analysis to POS B (and to a lesser extent POS C) is based in part on detention being provided for offsite areas. If there is a change in the offsite conditions (as a result of future development), it is unknown how this may impact the design. Consideration to bypassing the offsite areas around the proposed basins, to the greatest extent feasible, should be investigated.
  9. The post developed drainage boundary line for DA#2 should run along the edge of pavement along the private road based on the proposed grading verses being approximately 15' off the edge of pavement. The drainage boundary should be revised.
  10. Based on the proposed grading, not all of the area on the south side of the private roadway will be tributary to basin #7. The drainage boundary should be revised.

Re: 1120/1310 Lamington Road LLC Major Subdivision  
Technical Review  
Block 39, Lots 12, 15, 21  
1120/1310 Lamington Road  
Our Project No. 20BD202

11. It appears the existing wetlands located at the corner of the private road (adjacent to basin #6) may be partially tributary to Basins #6 and #7. The Engineer should confirm the drainage boundaries in the area.
12. The majority of the area on the north side of the private road appears to be tributary to the culvert and not to Basin #8 based on the proposed grading. The drainage boundary should be revised.
13. It is not clear how water quality will be addressed for the individual lots. The concept improvements depict drywells which cannot be used to treat for water quality.
14. A groundwater mounding analysis needs to be provided for the bio-retention basins that will infiltrate.
15. The bio-retention basin outlet pipes need to be modeled within the routing calculations to ensure they do not control runoff through the control structures (basins 4, 6 and 9 specifically).
16. The proposed runoff volume before infiltration within the groundwater recharge table on Page 6 of the report does not appear to be consistent with the volume within Appendix B3 (18.329 ac-ft verses 17.024 ac-ft) of the report. Clarification is required.
17. The top of berm for basins #4 and #5 appear to be lower based on the grading plans than is listed on the plan and used within the calculations.
18. The engineer shall confirm all of the basins have minimum berm widths and freeboard in accordance with RSIS, and NJDEP Dam Safety for those basins which meet the classification of a dam.
19. The peak times depicted within the pond drawdown chart (Appendix C-3 time vs. elevation summary) does not match the peak times in the routing (Page 2 of 99; Section C-1) for the water quality storm.
20. Basin #4 appears to empty at 40.08 hours (verses 50.05 hours within the pond drawdown chart) for the 100 year storm event.
21. The 100 year routed peak water elevation is above the emergency spillway crest within Basin #9.
22. The emergency spillway analysis utilized 11.3 inches of runoff (in 24 hours) where the 100 year plus 50% would result in 12.3 inches of runoff (using 100 year storm of 8.2 inches in 24 hours).
23. The peak outflow rates are based on an interpolated flow rate whereas they should be based upon the computed rates in the analysis. The summaries should be revised.
24. The computational time increment within the unit hydrographs varies with the different drainage areas. Additional information for the computer software being

Re: 1120/1310 Lamington Road LLC Major Subdivision  
Technical Review  
Block 39, Lots 12, 15, 21  
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Our Project No. 20BD202

- utilized should be provided. It is not clear why a consistent time increment would not be used.
25. The low impact development checklist at section 3.2B indicates that permanent site disturbance is being restricted as part of the current application, with the reasoning being that any additional disturbance will require additional approval from the Township of Bedminster. It is not clear how this would meet a restriction on permanent site disturbance. It is recommended that areas that have been modeled in post developed conditions as woods and or meadow be restricted against development since these areas have a lower runoff potential than would lawns and impervious areas associated with single family homes. The grading plans should depict a maximum grading limit for each lot so that these areas could be quantified.
  26. The reasoning included within the low impact development checklist at section 3.2E and 3.3G do not appear to be applicable since reducing the setbacks and shortening the driveways have no bearing on the development of the private road and associated improvements. Clarification is required.
  27. As currently designed, each lot development will need to be designed as a major stormwater development that follows the framework of the overall site analysis (ie each lot should not be submitted as its own individual project, but should include the remainder of the site as well, to confirm that the addition of the different hydrographs for the different phases of the project still meet the requirements for the overall site). This should be addressed in the individual lot deeds in the event that different engineers are utilized to develop the individual lot improvements. Alternatively, the current analysis could be designed to incorporate stormwater improvements based on maximum permitted lot coverages and disturbance.
  28. A separate map depicting the location of the soil testing being utilized for the drainage analysis should be provided.
  29. It appears that some of the proposed bio-retention basins are located closer in proximity to wetlands than where the soil testing was taken being utilized for the drainage analysis. As a result, design assumptions (infiltration, depth to groundwater) used within the analysis cannot be confirmed at this time.
  30. The depth to the first low level outlet in basin #6 needs to be lowered to the routed elevation of the water quality storm event (approximately 128.65'). The current low level outlet is set at elevation 129.20'. This will result in greater than the volume of the water quality design storm being infiltrated, which is the maximum allowed per the NJDEP BMP Manual.
  31. The applicant indicates additional soil testing will be undertaken within the footprints of the bio-retention basins in accordance with Appendix E of the NJDEP BMP

Re: 1120/1310 Lamington Road LLC Major Subdivision  
Technical Review  
Block 39, Lots 12, 15, 21  
1120/1310 Lamington Road  
Our Project No. 20BD202

Manual. This testing should be done prior to signing of the subdivision map or the construction of the road.

32. The storm sewer analysis is based on the 25 year design storm. The 100 year storm event needs to be analyzed to confirm the 100 year storm runoff will reach the basins. Hydraulic grade line calculations should be included within the analysis.
33. Swale conveyance calculations need to be provided in the report.
34. An Operations and Maintenance (O&M) manual for the private road and the associated drainage improvements will need to be submitted for review and approval.
35. Individual O&M manuals will need to be prepared for each lot as they are developed.
36. Compliance with the O&M manuals should be included as a deed notice for all lots.

### III. Resource Constraint Calculations

- A. The overall tract resource constraint calculations show an “as of right” lot yield of 7 lots. If the three existing parcels are taken individually, the ordinance requires that each lot be “rounded down” and the total of the three would be 6 lots. Notably relief was granted for lot 15 to allow two lots although the resource constraints yield would be one.
- B. On an individual lot basis, the table below shows the required gross lot area for each proposed lot according to the resource constraints calculations as well as the gross lot area provided.

Proposed Lot	Required Area	Proposed Area	Compliance
Remaining 12	16.65 Ac	12.325 Ac	No
Prop. 12.07	25.12 Ac	27.886 Ac	Yes
Future 12.06*	18.41 Ac	12.796 Ac	No
Future 12.07*	16.71 Ac	14.872 Ac	No
Prop. 12.08	15.26 Ac	15.603 Ac	Yes
Prop. 12.09	11.40 Ac	12.924 Ac	Yes
Remaining 15	14.10 Ac	10.890 Ac	No
Prop. 15.01	11.55 Ac	10.837 Ac	No
Prop. 21.04	15.68 Ac	10.478 Ac	No
Remaining 21	11.69 Ac	12.582 Ac	Yes

Based on the above, four of the seven proposed lots comply with the resource constraints standards. The two “future” lots to be created from one of the conforming lots will not comply with the standards.

### IV. Agricultural and Environmental Outline

- A. The report outlines a vision for the development in an effort to demonstrate that, notwithstanding the non-complying lots identified above, the proposal advances various

Re: 1120/1310 Lamington Road LLC Major Subdivision  
Technical Review  
Block 39, Lots 12, 15, 21  
1120/1310 Lamington Road  
Our Project No. 20BD202

purposes of the Master Plan. The applicant should identify how the significant restrictions on everything from architecture to the types of crops will be restricted on the lots and enforced. While deed restrictions on elements such as the residential farmhouse exception seem fairly routine, other restrictions such as regenerative agriculture and net zero building design seem more challenging. These concepts are not only difficult to define and quantify, they are difficult to enforce over time.

- B. The plan indicates that the association fees will not only pay for roadway and drainage maintenance, they will support the operating farm budget. The budget and funding need to be reviewed to ensure there are adequate funds available for both of these objectives. All association documents should be reviewed by the Board and Township Attorneys. The Board may want to consider a review of a pro forma analysis of the costs be provided to demonstrate the viability of the concept.
- C. The vision goals include “yoga and farm community events and outdoor activity and education”. Is the intent for these activities to be restricted to the residents of the community or will the public be invited to these events? If the public is invited, size limitations may be appropriate based on the limited available parking.

I trust the above comments are useful to the Board in its review of the application.

Very truly yours,



Paul W. Ferriero, PE, CME  
Township Engineer

cc: Board Members  
Thomas Collins, Esq.  
Frank Banisch, PP/AICP  
Ronald A. Kennedy, PE